Agenda Summary Report (ASR)

Franklin County Board of Commissioners

DATE SUBMITTED: August 10, 2021	**PREPARED BY:** Derrick Braaten
Meeting Date Requested: August 17, 2021	**PRESENTED BY:** Derrick Braaten
ITEM: (Select One) ☐ Consent Agenda	☑ Brought Before the Board Time needed: 10 minutes

SUBJECT: Preliminary Approval of SUB 2021-05, Spencer Estates, Phase 4, a subdivision application to subdivide six (6) parcels, totaling approx. 37.5 acres into fifty-five (55), ½ - acre, single-family lots. The lots are all ½ - acres or more in size. The land is zoned Residential Suburban 20 (RS-20).

The property is generally located east of the Columbia River, immediately north of Burns Road, west of Spencer Estates, Phase 3. (Parcel Numbers: 126-150-094, 126-150-142, 126-150-147, 126-150-156, 126-150-165, 126-150-174) The proposed subdivision will be accessed via Burns Road, from the south. All lots will be accessed by a proposed internal road system connecting to Burns Road.

The site is situated in a portion of the Southwest ¼ of Section 1, Township 9 N, Range 28 E, W.M. in Franklin County, WA.

FISCAL IMPACT: None

BACKGROUND: A SEPA threshold determination (DNS) was issued June 17, 2021 under file #SEPA 2021-11 with several findings and mitigation measures. All public notification requirements were fulfilled. At a regularly scheduled Planning Commission meeting, the Planning Commission heard and considered testimony in an open-record public hearing.

RECOMMENDATION:
The Planning Commission voted to forward a positive recommendation to the Board for preliminary approval of SUB 2021-05, based on six findings of fact and six conditions of approval, and with the corrections, as proposed. (The staff report and resolution incorporates the corrections).

Suggested Motion: I move to Pass Resolution #_____, granting preliminary approval of SUB 2021-05, adopting the six findings of fact and six conditions of approval, as recommended by the Planning Commission.

COORDINATION: Franklin County Planning and Building Department; Franklin County Assessor's Office; Franklin County GIS/ E911; Franklin County Public Works Department; Benton-Franklin Health District; Pasco School District; Fire Dist. #3. Franklin PUD, SCBID, US Bureau of Reclamation.

ATTACHMENTS: **(Documents you are submitting to the Board)**

(1) Draft Resolution Granting Preliminary Approval for SUB 2021-05;
(2) Planning Commission Packet;
(3) DRAFT minutes - Planning Commission meeting (not yet approved)

HANDLING / ROUTING: **(Once document is fully executed it will be imported into Document Manager. Please list name(s) of parties that will need a pdf)**

To the Clerk of the Board: 1 Original Resolution

To Planning: 1 Copy Resolution

I certify the above information is accurate and complete.

_____ Derrick Braaten

FRANKLIN COUNTY RESOLUTION _____

BEFORE THE BOARD OF COUNTY COMMISSIONERS OF FRANKLIN COUNTY, WASHINGTON

RE: ***Preliminary Approval for SUB 2021-05 Spencer Estates, Phase 4, to subdivide approximately 37.5 acres into 55 single-family residential lots.***

WHEREAS, this Board has reviewed the recommendation by the Franklin County Planning Commission for the preliminary subdivision application by **Big Sky Development, LLC**, and has granted preliminary approval of the preliminary subdivision subject to the following findings of fact and conditions of approval:

FINDINGS OF FACT:

1. Adequate provisions **have** been made for the public health, safety and general welfare and for open spaces, drainage ways, roads, alleys, or other public ways, water supplies, sanitary wastes, parks, playgrounds and other public needs;

   a. Comprehensive Plan: The application is in compliance with the Franklin County Comprehensive Plan.

      i. The property is zoned Residential Suburban 20 (RS-20)

      ii. The Comprehensive Plan designation for the property is "Low Density Residential".

      iii. The property is located inside of the City of Pasco Urban Growth Area.

   b. Health:

      The public health will not be negatively impacted by this proposal as current state requirements require compliance with septic standards.

   c. Water Supplies:

      The applicant is required to comply with current City and state requirements for connection to the City of Pasco water system.

   d. Roads/Access:

      The property is generally located east of the Columbia River, immediately north of Burns Road, west of Spencer Estates, Phase 3. (Parcel Numbers: 126-150-094, 126-150-142, 126-150-147, 126-150-156, 126-150-165, 126-150-174) The proposed subdivision will be accessed via Burns Road, from the south. All lots will be accessed by a proposed internal road system connecting to Burns Road.

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e. Septic System:

The applicant is required to comply with local Health Department standards as it relates to the sanitary wastes (i.e. septic systems). The Health District has determined the following findings, and set forth conditions for the use of on-site septic systems.

i. There are 55 proposed lots.
ii. Proposed land use is for single family dwellings.
iii. All proposed lots are to be served by domestic water from the City of Pasco.
iv. Soil logs excavated throughout the property found predominately Type 1 soils (extremely gravelly soils) below a sandy loam topsoil.
v. Most lots are relatively flat throughout the property, with the west lots along the river slightly sloped to the west.

f. School/School grounds:

The project is located within the Pasco School District boundaries. Appropriate provisions for schools/school grounds are provided through public approved levies and general obligation bond measures. These funding mechanisms fund property acquisitions, fulfill maintenance and operations obligations, and fund new school construction. Washington state capital construction funds are commonly available on a match basis for school related construction.

No school impact fees have been implemented by Franklin County. However, the applicant has entered into an agreement with PSD to mitigate potential impacts to the school system.

g. Storm water:

Current county code requires that storm water be adequately addressed at the time of road construction and development. It is typical that engineered drainage swales are developed that will assist in compliance with storm water standards/ requirements.

g. Parks:

Providing for adequate parks or other recreational facilities is necessary at the time of subdivision approval. Current county code requires that land be dedicated or a cash payment in lieu of dedication be provided.

h. Irrigation:

The project is located within the boundaries of the South Columbia Basin Irrigation District. The applicant has indicated that irrigation water will be provided to each lot via a private irrigation network that is supplied by South Columbia Basin Irrigation District. The project land does not currently have an irrigation water allotment; for irrigation water to be supplied, a Municipal and Industrial (M&I)

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Water Service Contract must be obtained from the United States Bureau of Reclamation.

i. Fire Protection:

The project is in the boundaries of Franklin County Fire District #3. The County has adopted the 2018 International Fire Code. FD#3 is the reviewing agency during the subdivision review and processing to ensure compliance with fire protection standards. The applicant has proposed the use of fire hydrants, with water provided by the City of Pasco, for fire suppression.

2. The proposed subdivision **does** contribute to the orderly development and land use patterns in the area;

a. The property is zoned Residential Suburban 20 (RS-20) and the development is consistent with the land use patterns in the area. The City of Pasco Comprehensive Plan designates this area for Low Density Development.

b. All lots comply with the required width/depth and lot frontage standards for new lots.

3. The public use and interest **will** be served by permitting the proposed subdivision;

a. The development, as conditioned, complies with the County Development Regulations.

b. Payment of park dedication fees benefit the public use and interest of this area.

4. The proposed subdivision **does** conform to the general purposes of any applicable policies or plans which have been adopted by the Board of County Commissioners;

a. The proposed subdivision conforms to the minimum lot size requirements of the Franklin County Zoning Ordinance.

b. The proposed subdivision conforms to the requirements of the Franklin County Subdivision Ordinance, including the minimum lot dimensions, lot requirements, and width/depth standards.

c. Portions of the site lie within a designated floodplain. A geotechnical report has been generated for this proposal, titled "Spencer Estates Phase 4 Residential Development, Franklin County Washington by Baer Testing Inc. (dated May 24, 2021), including addendums to the report. The project shall be developed in accordance with recommendations and requirements of said report.

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d. A State Environmental Policy Act (SEPA) review has been completed for this project.

5. The proposed subdivision **does** conform to the comprehensive plan and zoning requirements;

a. The City of Pasco Comprehensive Plan designates this area for Low Density Development.

b. The average lot size in the new development is approximately 24,836 square feet. The new lots comply with the minimum lot size requirement of the zoning district.

c. The development conforms to both the current zoning designation and the Comprehensive Plan.

6. The proposed subdivision **does** conform to the general purposes of the Subdivision Ordinance.

a. This development does comply with the purpose of the County Subdivision code. The purpose of the code is to regulate the division of land within unincorporated Franklin County. This Ordinance is to also further the purpose of promoting the health, safety, convenience, comfort, prosperity, and general welfare of the present and future inhabitants of Franklin County, and to:

i. Prevent the overcrowding of land;

Each lot in the development is 22,943 square feet or greater size which complies with the zoning ordinance and comprehensive plan.

ii. Lessen congestion and promote safe and convenient travel by the public on roads and highways;

The proposal effectively adds fort-nine (49) new homes to the development potential of the site, which will produce additional trips on the highway system but will not result in detrimental effects that cannot be mitigated.

iii. Promote the effective use of land;

The development utilizes the existing landscape and fulfils the intent of the County Zoning code.

iv. Provide for adequate light and air;

The proposed sizes of the new lots in the development are of a size to provide adequate light and air to new homes and the surrounding lands.

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v. Facilitate adequate provision for water, sewerage, drainage, parks and recreational areas, and other public requirements;

Adequate provisions are being proposed and required for this development as it relates to water, sewerage, drainage, parks and recreational areas, and other public requirements. These provisions are addressed specifically in Findings of Fact #1.

vi. Provide for proper ingress and egress;

Proper ingress and egress are provided for this development. The Franklin County Public Works Department has reviewed the proposal for proper ingress and egress.

vii. Provide for the expeditious review and approval of proposed land divisions which comply with this Ordinance, the Franklin County Zoning Standards, other County Plans, policies and land use controls, and Chapter 58.17 R.C.W;

The land development process for this project complies with all applicable County Ordinances, R.C.W.'s, and associated timelines for development review.

viii. Adequately provide for the housing, commercial, and industrial needs of the citizens of the State and County;

This 55-lot development is located in an area zoned Residential Suburban 20 Zone (RS-20) which has a large lot residential environment intent.

ix. Require uniform monumenting of land divisions and conveyance by accurate legal descriptions;

The development proposal complies with the provisions of the County Subdivision Ordinance as it relates to monumenting and legal description development.

x. Implement the goals, objectives and policies of the Comprehensive Plan;

The Franklin County Comprehensive Plan designates this property for Rural Shoreline Development.

The proposed development proposes an average lot size of 24,836 square feet, is in compliance and consistent with local land use controls, and is compatible with the surrounding residential area.

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CONDITIONS OF APPROVAL:

1. Applicant shall comply with the **County Public Works Department** requirements including:

   a. If required, a utility extension agreement will need to be entered into for City Utilities and Approved by City Council.

   b. Portions of the site lie within a designated floodplain. A geotechnical report has been generated for this proposal, titled "Spencer Estates Phase 4 Residential Development, Franklin County Washington by Baer Testing Inc. (dated May 24, 2021), including addendums to the report. The project shall be developed in accordance with recommendations and requirements of said report.

   c. **The following language shall be listed on the final plat under notes,** in addition to the fire separation standards and the park dedication fees notes (unless the park dedication fees are pre-paid):

      - *Irrigation Requirements: All lots within this development shall at all times have an outside irrigation source provided to them for the life of this development.*

      - *During construction on each property, all construction debris shall be maintained on-site and properly disposed of. Dust control measures including an adequate water supply shall be provided.*

      - *The County is not responsible for the maintenance of the private access road nor any associated facilities inside the easement.*

      - ***Franklin County is a Right to Farm area**. The Franklin County Right to Farm Ordinance, as amended, shall apply to activities in this area.*

      - *This subdivision is located adjacent to a FEMA Flood Zone, and Lots 5-15 are located within a designated flood plain, and as such storm water retention is required. Roads or other impervious improvements shall be designed and engineered to maintain up to a 100 year storm event on site.*

   c. All of the statements that are required to be on the face of the plat shall be either: **1)** recorded as a restrictive covenant on each applicable parcel with the County Auditor **OR 2)** described in detail in the developer's covenants that is recorded and provided to each lot owner, prospective landowner, and the Planning Department at the time of final plat approval and recording.

   d. The applicant shall coordinate with the Planning and Building Department and County GIS Manager for the designation of **addresses and road names** for the development. **Both addresses and road names shall be shown on the final plat.**

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e. The applicant shall coordinate with the **Post Office** regarding centralized box unit (CBU) locations for the development.

f. The land shall be in compliance with the County Fire and Nuisance codes at all times.

g. Preliminary plat approval is valid for a **five (5) year period** following approval by the Board of County Commissioners.

h. As proposed by the applicant this project will occur in one (1) phase and is not a phased development.

i. Prior to obtaining the County Treasurer's Signature on the final plat, the applicant shall visit the County **Assessor's Office** to receive a Treasurer's Verification Form for the property.

Further, the applicant is encouraged to contact the **Assessor's Office and/or Treasurer's Office** to discuss potential property tax implications of the platting process. Items such as the removal of an open space designation and/or an advanced tax payment requirement for the property may be applicable.

j. The Final Plat:

i. The Final Plat shall be developed by a licensed Surveyor.

ii. The Final Plat shall be developed in accordance with the County Subdivision Ordinance. See Franklin County Code Title 16 for specifications. The Planning and Building Department may be contacted at (509) 545-3521. The County Subdivision Ordinance may be found on-line at: http://www.co.franklin.wa.us/planning/subdivision_ordinance.html.

iii. The Final Plat Signature Blocks shall be provided for the following: Big Bend Electric Coop; Chair, Franklin County Planning Commission; Chair, Board of County Commissioners; Benton Franklin Health District; USBR and SCBID (see specifications for the Bureau's signature block statement); County Engineer; County Treasurer; County Assessor; and County Auditor.

iv. The final five (5) signatures (for final plat approval) to be obtained by the applicant are: #5 County Assessor; #4 County Treasurer (Ensure taxes are paid accordingly; Also see RCW 58.05.040); #3 County Planning Commission Chair (See Planning and Building Department for assistance in obtaining signature); #2 Chairman of Board of County Commissioners (County Commissioners typically sign final approval resolutions during a regularly scheduled public meeting date); #1 County Auditor's Office (Recording of the final plat).

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k. After final plat recording, one (1) paper copy and one (1) electronic copy (disk, cd, or e-mail-pdf) of the recorded plat shall be distributed to the Planning Director and one (1) paper copy to the County Assessor.

AND, WHEREAS, the public use and interest will be served by granting preliminary approval to the application;

NOW, THEREFORE, BE IT RESOLVED that the application be given preliminary approval in accordance with the provisions of the Franklin County Subdivision ordinance, codified in Title 16 of the Franklin County Code.

APPROVED THIS 17th DAY OF AUGUST, 2021.

BOARD OF COUNTY COMMISSIONERS
FRANKLIN COUNTY, WASHINGTON

_____
Chair

_____
Chair Pro-Tem

Attest:_____
Clerk of the Board

_____
Member

FACT SHEET/STAFF SUMMARY
Meeting before the Franklin County Planning Commission

THIS IS A QUASI-JUDICIAL ACTION
PLEASE AVOID, AND DISCLOSE, ANY EX-PARTE COMMUNICATIONS (CH 42.36 RCW)

Case file: SUB 2021-05 (Subdivision) and SEPA 2020-11

PC Meeting Date: July 13, 2021

See the staff report for the application details, description, explanation of public notice, etc.

BACKGROUND/APPLICATION SUMMARY:
Said application is to allow for the development of a single-family residential subdivision, comprising six (6) parcels (126-150-094, 126-150-142, 126-150-147, 126-150-156, 126-150-165, 126-150-174) and approximately 37.5-acres, and creating fifty-five (55), one-half acre lots, minimum. The area where the project is proposed has a zoning designation of Residential Suburban 20 (RS-20), with a comprehensive plan designation of Low Density Residential.

The developer is proposing for the new parcels to be served with City of Pasco water and on-site septic, with fire hydrants for fire prevention and suppression. The sites are located in the South Columbia Basin Irrigation District (SCBID) but have no current water allotment. The proposed plat is located within the Franklin Public Utility District (Franklin PUD) service area for electrical/ power service. The Pasco School District serves the area included in the plat.

Access to the site is via Burns Road.

Preliminary plat approval, if granted, will allow the applicant five years to complete and record the final subdivision plat.

SUMMARY OF THE PUBLIC HEARING:
Staff presented a summary of the application. The applicant's agent attended the public hearing. Staff recommended that the Planning Commission recommend to the Board of County Commissioners that it approve the request, based on six (6) suggested findings of fact, and six (6) conditions of approval. The Planning Commission recommended approval of the subdivision, and there were no appeals filed on the recommendation.

Findings of Fact Criteria Used by Planning Commission: The Planning Commission made and entered findings from the record and conclusions thereof as to whether or not:

1. The proposal is in accordance with the goals, policies, objectives, maps and/or narrative text of the comprehensive plan;

2. The proposal will adversely affect public infrastructure;

3. The proposal will be constructed, maintained and operated to be in harmony with the existing or intended character of the general vicinity;

4. The location and height of proposed structures and the site design will discourage the development of permitted uses on property in the general vicinity or impair the value thereof;

5. The operation in connection with the proposal will be more objectionable to nearby properties by reason of noise, fumes, vibrations, dust, traffic, or flashing lights than would be the operation of any permitted uses within the district;

6. The proposal will endanger the public health or safety if located and developed where proposed, or in any way will become a nuisance to uses permitted in the district.

At the July 13, 2021 meeting, the Planning Commission discussed the proposal, the record as provided, and suggested findings of fact. The following errors were found in the Planning Commission Staff Report, which has been updated, and corrected in the record:

1. 1.j: Regarding additional Burns Rd r/w. Item removed in its entirety, as per Public Works email received on July 13, 2021. Similar to the two subdivision phases directly east with Burns Rd frontage, the existing 60' r/w width is adequate.
2. 10.e. Item removed in its entirety. There are no critical erosion hazard areas on this site.
3. Comment10: Added that City of Pasco provided comment in July 1, 2021 memo, dated 7/1/21.
4. Condition 1.j: regarding additional Burns Rd r/w. Item removed in its entirety, as per Public Works email received on July 13, 2021.
5. Added: Comment 6a. "If required, a utility extension agreement will need to be entered into for City Utilities and approved by City Council."

The Planning Commission determined that, as proposed, the subdivision meets the intent and requirements of Franklin County Code, and the Franklin County Comprehensive Plan. A motion was made for a recommendation that the Franklin County Board of Commissioners approve the request regarding application SUB 2021-05, with six (6) findings of fact, and six (6) conditions of approval (as provided below).

Findings of Fact – Planning Commission: The Planning Commission (with assistance from Planning Staff) made and entered the following findings from the record, and conclusions thereof:

Suggested Findings of Fact:

1. Adequate provisions **have** been made for the public health, safety and general welfare and for open spaces, drainage ways, roads, alleys, or other public ways, water supplies, sanitary wastes, parks, playgrounds and other public needs;

   a. Comprehensive Plan: The application is in compliance with the Franklin County Comprehensive Plan.

      i. The property is zoned Residential Suburban 20 (RS-20)

      ii. The Comprehensive Plan designation for the property is "Low Density Residential".

iii. The property is located inside of the City of Pasco Urban Growth Area.

b. Health:

The public health will not be negatively impacted by this proposal as current state requirements require compliance with septic standards.

c. Water Supplies:

The applicant is required to comply with current City and state requirements for connection to the City of Pasco water system.

d. Roads/Access:

The property is generally located east of the Columbia River, immediately north of Burns Road, west of Spencer Estates, Phase 3. (Parcel Numbers: 126-150-094, 126-150-142, 126-150-147, 126-150-156, 126-150-165, 126-150-174) The proposed subdivision will be accessed via Burns Road, from the south. All lots will be accessed by a proposed internal road system connecting to Burns Road.

e. Septic System:

The applicant is required to comply with local Health Department standards as it relates to the sanitary wastes (i.e. septic systems). The Health District has determined the following findings, and set forth conditions for the use of on-site septic systems.

i. There are 55 proposed lots.
ii. Proposed land use is for single family dwellings.
iii. All proposed lots are to be served by domestic water from the City of Pasco.
iv. Soil logs excavated throughout the property found predominately Type 1 soils (extremely gravelly soils) below a sandy loam topsoil.
v. Most lots are relatively flat throughout the property, with the west lots along the river slightly sloped to the west.

f. School/School grounds:

The project is located within the Pasco School District boundaries. Appropriate provisions for schools/school grounds are provided through public approved levies and general obligation bond measures. These funding mechanisms fund property acquisitions, fulfill maintenance and operations obligations, and fund new school construction. Washington state capital construction funds are commonly available on a match basis for school related construction.

No school impact fees have been implemented by Franklin County. However, the applicant has entered into an agreement with PSD to mitigate potential impacts to the school system.

g. Storm water:

Current county code requires that storm water be adequately addressed at the time of road construction and development. It is typical that engineered drainage swales

are developed that will assist in compliance with storm water standards/ requirements.

g. Parks:

Providing for adequate parks or other recreational facilities is necessary at the time of subdivision approval. Current county code requires that land be dedicated or a cash payment in lieu of dedication be provided.

h. Irrigation:

The project is located within the boundaries of the South Columbia Basin Irrigation District. The applicant has indicated that irrigation water will be provided to each lot via a private irrigation network that is supplied by South Columbia Basin Irrigation District. The project land does not currently have an irrigation water allotment; for irrigation water to be supplied, a Municipal and Industrial (M&I) Water Service Contract must be obtained from the United States Bureau of Reclamation.

i. Fire Protection:

The project is in the boundaries of Franklin County Fire District #3. The County has adopted the 2018 International Fire Code. FD#3 is the reviewing agency during the subdivision review and processing to ensure compliance with fire protection standards. The applicant has proposed the use of fire hydrants, with water provided by the City of Pasco, for fire suppression.

2. The proposed subdivision **does** contribute to the orderly development and land use patterns in the area;

a. The property is zoned Residential Suburban 20 (RS-20) and the development is consistent with the land use patterns in the area. The City of Pasco Comprehensive Plan designates this area for Low Density Development.

b. All lots comply with the required width/depth and lot frontage standards for new lots.

3. The public use and interest **will** be served by permitting the proposed subdivision;

a. The development, as conditioned, complies with the County Development Regulations.

b. Payment of park dedication fees benefit the public use and interest of this area.

4. The proposed subdivision **does** conform to the general purposes of any applicable policies or plans which have been adopted by the Board of County Commissioners;

a. The proposed subdivision conforms to the minimum lot size requirements of the Franklin County Zoning Ordinance.

b. The proposed subdivision conforms to the requirements of the Franklin County Subdivision Ordinance, including the minimum lot dimensions, lot requirements, and width/depth standards.

c. Portions of the site lie within a designated floodplain. A geotechnical report has been generated for this proposal, titled "Spencer Estates Phase 4 Residential Development, Franklin County Washington by Baer Testing Inc. (dated May 24, 2021), including addendums to the report. The project shall be developed in accordance with recommendations and requirements of said report.

d. A State Environmental Policy Act (SEPA) review has been completed for this project.

5. The proposed subdivision **does** conform to the comprehensive plan and zoning requirements;

a. The City of Pasco Comprehensive Plan designates this area for Low Density Development.

b. The average lot size in the new development is approximately 24,836 square feet. The new lots comply with the minimum lot size requirement of the zoning district.

c. The development conforms to both the current zoning designation and the Comprehensive Plan.

6. The proposed subdivision **does** conform to the general purposes of the Subdivision Ordinance.

a. This development does comply with the purpose of the County Subdivision code. The purpose of the code is to regulate the division of land within unincorporated Franklin County. This Ordinance is to also further the purpose of promoting the health, safety, convenience, comfort, prosperity, and general welfare of the present and future inhabitants of Franklin County, and to:

i. Prevent the overcrowding of land;

Each lot in the development is 22,943 square feet or greater size which complies with the zoning ordinance and comprehensive plan.

ii. Lessen congestion and promote safe and convenient travel by the public on roads and highways;

The proposal effectively adds fort-nine (49) new homes to the development potential of the site, which will produce additional trips on the highway system but will not result in detrimental effects that cannot be mitigated.

iii. Promote the effective use of land;

The development utilizes the existing landscape and fulfils the intent of the

County Zoning code.

iv. Provide for adequate light and air;

The proposed sizes of the new lots in the development are of a size to provide adequate light and air to new homes and the surrounding lands.

v. Facilitate adequate provision for water, sewerage, drainage, parks and recreational areas, and other public requirements;

Adequate provisions are being proposed and required for this development as it relates to water, sewerage, drainage, parks and recreational areas, and other public requirements. These provisions are addressed specifically in Findings of Fact #1.

vi. Provide for proper ingress and egress;

Proper ingress and egress are provided for this development. The Franklin County Public Works Department has reviewed the proposal for proper ingress and egress.

vii. Provide for the expeditious review and approval of proposed land divisions which comply with this Ordinance, the Franklin County Zoning Standards, other County Plans, policies and land use controls, and Chapter 58.17 R.C.W;

The land development process for this project complies with all applicable County Ordinances, R.C.W.'s, and associated timelines for development review.

viii. Adequately provide for the housing, commercial, and industrial needs of the citizens of the State and County;

This 55-lot development is located in an area zoned Residential Suburban 20 Zone (RS-20) which has a large lot residential environment intent.

ix. Require uniform monumenting of land divisions and conveyance by accurate legal descriptions;

The development proposal complies with the provisions of the County Subdivision Ordinance as it relates to monumenting and legal description development.

x. Implement the goals, objectives and policies of the Comprehensive Plan;

The Franklin County Comprehensive Plan designates this property for Rural Shoreline Development.

The proposed development proposes an average lot size of 24,836 square feet, is in compliance and consistent with local land use controls, and is compatible with the surrounding residential area.

Suggested Conclusions of Law:

1. An application was received for the Spencer Estate, Phase 4 preliminary plat on May 14, 2021, and the application was deemed complete on May 17, 2021.

2. The SEPA process has been completed and a DNS was issued.

3. Following an open record pre decision hearing on a proposed preliminary plat, the Planning Commission shall render a recommendation to the board of county commissioners as to whether the proposal based on the findings shall be denied, approved or approved with medications or conditions.

4. The review criteria of FCC 16.20.070 were used to develop the findings of fact.

Suggested Conditions of Approval:

1. Applicant shall comply with the **County Public Works Department** requirements including:

    a. If required, a utility extension agreement will need to be entered into for City Utilities and Approved by City Council.

    b. Portions of the site lie within a designated floodplain. A geotechnical report has been generated for this proposal, titled "Spencer Estates Phase 4 Residential Development, Franklin County Washington by Baer Testing Inc. (dated May 24, 2021), including addendums to the report. The project shall be developed in accordance with recommendations and requirements of said report.

    c. **The following language shall be listed on the final plat under notes,** in addition to the fire separation standards and the park dedication fees notes (unless the park dedication fees are pre-paid):

        - *Irrigation Requirements: All lots within this development shall at all times have an outside irrigation source provided to them for the life of this development.*

        - *During construction on each property, all construction debris shall be maintained on-site and properly disposed of. Dust control measures including an adequate water supply shall be provided.*

        - *The County is not responsible for the maintenance of the private access road nor any associated facilities inside the easement.*

        - ***Franklin County is a Right to Farm area**. The Franklin County Right to Farm Ordinance, as amended, shall apply to activities in this area.*

        - *This subdivision is located adjacent to a FEMA Flood Zone, and Lots 5-15 are located within a designated flood plain, and as such storm water retention is*

required. Roads or other impervious improvements shall be designed and engineered to maintain up to a 100 year storm event on site.

c. All of the statements that are required to be on the face of the plat shall be either: **1)** recorded as a restrictive covenant on each applicable parcel with the County Auditor **OR 2)** described in detail in the developer's covenants that is recorded and provided to each lot owner, prospective landowner, and the Planning Department at the time of final plat approval and recording.

d. The applicant shall coordinate with the Planning and Building Department and County GIS Manager for the designation of **addresses and road names** for the development. **Both addresses and road names shall be shown on the final plat.**

e. The applicant shall coordinate with the **Post Office** regarding centralized box unit (CBU) locations for the development.

f. The land shall be in compliance with the County Fire and Nuisance codes at all times.

g. Preliminary plat approval is valid for a **five (5) year period** following approval by the Board of County Commissioners.

h. As proposed by the applicant this project will occur in one (1) phase and is not a phased development.

i. Prior to obtaining the County Treasurer's Signature on the final plat, the applicant shall visit the County **Assessor's Office** to receive a Treasurer's Verification Form for the property.

Further, the applicant is encouraged to contact the **Assessor's Office and/or Treasurer's Office** to discuss potential property tax implications of the platting process. Items such as the removal of an open space designation and/or an advanced tax payment requirement for the property may be applicable.

j. The Final Plat:

i. The Final Plat shall be developed by a licensed Surveyor.

ii. The Final Plat shall be developed in accordance with the County Subdivision Ordinance. See Franklin County Code Title 16 for specifications. The Planning and Building Department may be contacted at (509) 545-3521. The County Subdivision Ordinance may be found on-line at: http://www.co.franklin.wa.us/planning/subdivision_ordinance.html.

iii. The Final Plat Signature Blocks shall be provided for the following: Big Bend Electric Coop; Chair, Franklin County Planning Commission; Chair, Board of County Commissioners; Benton Franklin Health District; USBR and SCBID (see specifications for the Bureau's signature block statement); County Engineer; County Treasurer; County Assessor; and County Auditor.

iv. The final five (5) signatures (for final plat approval) to be obtained by the applicant are: #5 County Assessor; #4 County Treasurer (Ensure taxes are paid accordingly; Also see RCW 58.05.040); #3 County Planning Commission Chair (See Planning and Building Department for assistance in obtaining signature); #2 Chairman of Board of County Commissioners (County Commissioners typically sign final approval resolutions during a regularly scheduled public meeting date); #1 County Auditor's Office (Recording of the final plat).

k. After final plat recording, one (1) paper copy and one (1) electronic copy (disk, cd, or e-mail-pdf) of the recorded plat shall be distributed to the Planning Director and one (1) paper copy to the County Assessor.

Suggested Motion: I move that the Board of County Commissioners adopt the recommendation of the Planning Commission and approve the preliminary plat, SUB 2021-05, based upon the six (6) written findings of fact, and six (6) conditions of approval.

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SPECIAL MEETING
July 13, 2021
Virtual Meeting-WebEx Events

The minutes of the planning commission proceedings are not verbatim. Access to an electronic recording of the meetings are available on our YouTube Live channel or upon request.

STAFF PRESENT:
Derrick Braaten, Planning & Building Director
Rebeca Gilley, Planning & Building Services Administrator
Aaron Gunderson, Planner I

ATTENDEES:
Caleb Stromstad (left at 8:08 PM)
Richard Nelson (left the meeting at 7:42 PM)
Unidentified Call-In (left the meeting at 7:42 PM)

CALL TO ORDER:
Vice Chair Corrales called meeting to order at approximately 7:06 PM.

ROLL CALL:
MEMBERS PRESENT:
Mike Vincent, Roger Lenk, Mike Corrales (Vice Chair) and Kent McMullen

MEMBERS ABSENT:
Layton Lowe, Claude Pierret (Chair) and Melinda Didier

PLEDGE OF ALLEGIANCE

APPOVAL OF AGENDA:
Vice Chair Corrales asked for a motion to approve the agenda.
Commissioner Lenk made a motion to approve agenda.
Commissioner Vincent seconded.
Motion carried.

GOING OVER MEETING RULES/DECLARATION OF CONFLICT OF INTEREST:

- Mr. Braaten stated SUB 2021-06 was pulled from the meeting due to a SEPA appeal filed by the Pasco school District.
- Vice Chair Corrales asked if any of the commissioners wanted to declare any potential conflict of interest. There were no declarations of conflict of interest.
- Mr. Gunderson asked the unidentified person who called-in to see if they objected to any item on the agenda. Unidentified person responded that they did not object.

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- Mr. Gunderson asked the unidentified person if they had any procedural questions before they begin the public hearing. Unidentified person responded that they did not have any questions.

The minutes reflecting Item #1 of the meeting are EXCLUDED, as they address an item that will go to the Board of County Commissioners at a future date, which is subject to the state Appearance of Fairness Doctrine.

ITEM #2-SUB 2021-05/SEPA 2021-11

Proposal to allow for the development of a single-family residential subdivision, comprising six (6) parcels, totaling approximately 37.5-acres, and creating fifty-five (55), 1/2 acre lots, minimum. The area where the project is proposed has a zoning designation of Rural Suburban 20 (RS-20), with a comprehensive plan designation of Low Density Residential.

APPLICANT: Big Sky Developers, LLC (Caleb Stromstad, representative speaking on behalf)

OWNER: Chubby Cherries, LLC (Doby Burns)

OPEN PUBLIC HEARING:
Vice Chair Corrales opened public hearing at 7:43 PM.

STAFF REPORT:
Mr. Braaten presented staff report to the commission. Mr. Braaten noted there were some suggested changes requested by the applicant:

- 1.j. Regarding additional Burns Rd r/w. Item removed in its entirety, as per Public Works email received on July 13, 2021. Similar to the two subdivision phases directly east with Burns Rd frontage, the existing 60' r/w width is adequate.
- 10.e. Item removed in its entirety. There are no critical erosion hazard areas on this site.
- Comment 10: Added that City of Pasco provided comment in July 1, 2021 memo Pasco, dated 7/1/21.
- 1.j. regarding additional Burns Rd r/w. Regarding additional Burns Rd r/w. Item removed in its entirety, as per Public Works email received on July 13, 2021.
- 6a: Added if required, a utility extension agreement will need to be entered into for City Utilities and approved by City Council.

Mr. Braaten stated suggested the suggested conditions of approval have been modified, along with the addition of 6a.

COMMISSIONER QUESTIONS FOR STAFF/APPLICANT:

- Commissioner Lenk had a question for staff about page 55 of 166, item 10d that seemed to be incomplete. Commissioner Lenk stated after stating "...City of Pasco", it does not say anything more and that it should probably have the wording of "potable water" after "...City of Pasco." Mr. Braaten stated that Commissioner Lenk is correct and it needs to be corrected.
- Commissioner Lenk had a question for Mr. Stromstad about how the agreement for impact fees works between the applicant and school district, whether it's based on what the City of Pasco

requires for water/sewer connection or is independent that. Mr. Stromstad stated there are two different processes going on. Mr. Stromstad continued stating the school district uses the SEPA appeal process to bypass the County not requiring a school impact fee, in order to force the developer to enter into a voluntary mitigation agreement. Mr. Stromstad stated the school district agreement has already been recorded and done. Mr. Stromstad stated the other process is the utility extension agreement with the City of Pasco, which they are currently in the process of obtaining, but has not been established yet.

PUBLIC COMMENTS:

- Mr. Stromstad spoke in support of the staff report and the recommended corrections.

CLOSING PUBLIC HEARING ITEM:
Vice Chair Corrales closed public hearing at 7:59 PM.

Commissioner Lenk made a motion to approve SUB 2021-05 with the six findings of fact, conclusions of law and six conditions of approval. Mr. Braaten stated there was another version on a different slide if the commission wanted to use that. Commissioner Lenk withdrew his motion and made another motion with the amended six findings of fact and seven conditions of approval as detailed in the staff report.

Commissioner Vincent seconded the motion.

Vote: SUB 2021-05

Mike Corrales-Yes
Mike Vincent-Yes
Roger Lenk-Yes
Kent McMullen-Yes

The motion is approved.

PLANNING COMMISSION MEETING ADJOURNED AT 8:15 PM

Agenda Item #2

STAFF REPORT

SUB 2021-05

Big Sky Development – 55-lot Single-Family Residential Subdivision

FACT SHEET/STAFF REVIEW

Hearing before the Franklin County Planning Commission

NOTE TO PLANNING COMMISSIONERS:
THIS IS A QUASI-JUDICIAL PUBLIC HEARING
PLEASE AVOID, AND DISCLOSE, ANY EX-PARTE COMMUNICATIONS (CH 42.36 RCW)

Case file: **SUB 2021-05/ SEPA 2021-11**
"Spencer Estates, Phase 4" (Preliminary Plat of 55 Single-Family Residential Lots)

Hearing Date: July 13, 2021

Applicant: Big Sky Development, LLC

Owner(s): Chubby Cherries, LLC (Dobie Burns)

Location: The property is generally located east of the Columbia River, bounds Burns Road to the North, SW of the intersection of Ryder Rd & Whiskey River Rd, and west of the Spencer Estates, Ph. 3 subdivision. (Parcel Numbers: 126-150-094, 126-150-142, 126-150-147, 126-150-156, 126-150-165, 126-150-174)

Legal Description:

126-150-094: TRACT IN SW COR OF 1-9-28 DESC AS FOL: COMM AT THE GOVT MONUMENT AT THE INTERS OF S LN OF SEC 1 & E BDY OF GOV RIVER FRONTAGE; TH E 292'; TH N 10d E 250'; TH N 77d W 236'; TH S 19d W 317' M/L TO POB

126-150-142: SHORT PLAT 2018-32 LOT 2

126-150-147: LOT 1- PTN S2SW4 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN, 1636.31'; TH N21D31'E, 594.01'; TH S89D33'E, 133.42'; TH N21D31'E,539.56' TO TPOB; TH CONT N21D31'E, 268.7' TO N LN S2SW; TH N89D33'W ALG N LN, 883.08' TO E LN OF A PARCEL CONVEYED TO USA BY WD#161482; TH S21D31'W ALG E LN, 269.63'; TH S89D33'E, 883.06' TO TPOB TOG W/ESMT FOR I/E AND UTIL

126-150-156: LOT 2-PTN S2SW 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN SD SEC, 1636.31'; TH N21D31'E, 594.01' TH S89D33'E, 133.42'; TH N21D31'E, 269.78' TO TPOB; TH CONT N21D31'E, 269.78'; TH N89D33'W, 883.06' TO E LN PARCEL CONVEYED TO USA BY WD#161482;TH S21D31'W ALG SD W LN, 269.78'; TH S89D33'E, 883.06' TO TPOB. TOG W/ESMT FOR I/E & UTIL

126-150-165: LOT 3-PTN S2SW 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN SD SEC, 1636.31'; TH N21D31'E, 594.01' TO TPOB; TH S89D33'E, 133.42'; TH N21D 31'E, 269.78'; TH N89D33'W, 883.06' TO E LN PARCEL CONVEYED TO USA BY #161482 TH S21D31'W ALG SD E LN, 269.78'; TH S89D33'E, 749.64' TO TPOB. TOG W/ESMT FOR I/E & UTILITIES

126-150-174: LOT 4-PTN GOVT LOT 4 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN SD SEC, 1636.31'; TH N21D31'E, 269.07' TO TPOB; TH CONT N21D31'E, 326.94'; TH N89D33'W, 749.64' TO E LN PARCEL CONVEYED TO USA IN WD#161482; TH S21D31'W ALG SD E LN, 269.97'; TH S76D08'E, 229.08'; TH S89D33'E, 506.35 TO TPOB. TOG W/ESMT FOR I/E & UTIL

Property size: The project comprises 37.5 acres

Area to be used:	Approx. 37.5 acres
Land Use:	Residential and active farming
Comp Plan:	Low-Density Residential
Zoning:	RS-20, Residential Suburban 20
SEPA Determination:	The applicant provided a SEPA checklist and the County planning staff made some additions/ corrections to the checklist. The County issued a Determination of Non-Significance (DNS) on June 17, 2021 with several findings and mitigation measures.
Suggested Recommendation:	Positive recommendation with six findings of fact, conclusions of law, and six conditions of approval.

APPLICATION DESCRIPTION:

The request is to allow for the development of a single-family residential subdivision, comprising six (6) parcels, totaling approximately 37.5-acres, and creating fifty-five (55), 1/2 acre lots, minimum. The area where the project is proposed has a zoning designation of Rural Suburban 20 (RS-20), with a comprehensive plan designation of Low Density Residential.

The developer is proposing for the new parcels to be served with City of Pasco water and on-site septic, with fire hydrants for fire prevention and suppression. The sites are located in the South Columbia Basin Irrigation District (SCBID) but have no current water allotment. The proposed plat is located within the Franklin Public Utility District (Franklin PUD) service area for electrical/ power service. The Pasco School District serves the area included in the plat.

The access to the site is via Burns Rd.

Preliminary plat approval, if granted, will allow the applicant five years to complete and record the final subdivision plat.

VICINITY MAP:

PUBLIC NOTICE[1]:

1. A SEPA DNS notice was distributed to agencies on June 17, 2021 and posted to the online SEPA Register under file # 202103318.
2. A joint Public Hearing Notice and SEPA Notice of DNS was published in the **Franklin County Graphic** on June 17, 2021.
3. Property Owners within 1 mile were mailed notice regarding the public hearing and the SEPA threshold decision on or before June 17, 2021.
4. County staff e-mailed review packets to Technical Agencies on June 17, 2021.
5. County staff posted a sign on the property on June 17, 2021.

APPLICABLE STANDARDS/ORDINANCES:

1. Franklin County Code Chapter 17.28 RS-20 (Residential Suburban 20)
2. Franklin County Code Chapter 18.04 State Environmental Policy Act Guidelines
3. Franklin County Code Chapter 18.08 Critical Areas/ Resource Area Protection Standards
4. Franklin County Code Title 16 Subdivisions
5. Franklin County Comprehensive Plan

SEPA ENVIRONMENTAL REVIEW

The proposal was not exempt from SEPA. Based on findings, the SEPA responsible official determined the following mitigation measures for the proposal, which apply to the plat and are in addition to any Preliminary Plat conditions determined by the County Board of Commissioners[2]:

1. Recommendations for earthwork (including removal of vegetation and deleterious debris, subgrade preparation, material reuse, slope stability, compaction, wet weather construction, etc.), contained in the "Spencer Estates Phase 4 Residential Development, Franklin County Washington by Baer Testing Inc. (dated May 24, 2021) and addendums to the report shall all be adhered to.

2. A Construction Storm Water Pollution Prevention Plan (SWPPP) shall be provided, with measures to mitigate for potential erosion caused by onsite storm water runoff, and the plan shall be implemented by the Contractor.

3. Best Management Practices (BMP) to minimize dust during construction shall be used, such as watering the site in accordance with local air-quality requirements. Vegetative cover or a tackifier shall be provided as soon as practicable following clearing and grading. Dust control shall comply with applicable local standards.

4. Should archaeological materials (e.g. bones, shell, stone tools, beads, ceramics, old bottles, hearths, etc.) or human remains be observed during project activities, all work in the immediate vicinity shall stop. The State Department of Archaeology and Historic Preservation (360-586-3065), the Franklin County Planning and Building Department, the affected Tribe(s) and the county coroner (if applicable) shall be contacted immediately in order to help assess the situation and determine how to preserve the resource(s). Compliance with all applicable laws pertaining to archaeological resources (RCW 27.53, 27.44 and WAC 25-48) is required.

5. A drainage system shall be designed to capture and dispose of storm water runoff onsite.

6. A separate source of irrigation water shall be implemented and provided during the life of the project.

AGENCY COMMENTS/CRITERIA FOR FINDINGS OF FACT:

1. **County Public Works Department**. The public works department issued the following comments on June 24, 2021:

   a. The final plat shall be accompanied with closure notes conforming to Franklin County Subdivision Ordinance Section 7.10 (C)(4) for the subdivision boundary and all lots.
   b. The following notes are required on the final plat:
      i. All new approaches to County Roads will require an approach permit at the time of building permit application. A mitigation fee is required and will be collected at the time of road approach permit issuance.
      ii. Other than Lot #5, no lot within this subdivision shall have direct access to Burns Road.
      iii. Lot owners shall agree to participate in any future L.I.D. / R.I.D.'s for roads, drainage, curb & gutters, streetlights, storm sewers, water and/or sanitary sewers.
      iv. Lot owners shall be responsible for the maintenance of drainage ditches or swales per the design as shown on the road construction plans for this development, unless they are no longer necessary due to an alternate drainage system being installed.
      v. Lot owners shall provide landscaping within the unimproved portion of the right-of-way between the property line and the edge of pavement and/or curb. This shall consist of grass/lawn, river rock, basalt rock, gravel or other traditional residential landscaping material. Maintenance of the landscaping is the requirement of each individual lot owner.
   c. All utilities serving the subdivision must be installed underground, per Franklin County Code Chapter 7, Section 7.9A.
   d. Permanent control monuments shall be installed in accordance with Franklin County Standard Plans H-6 and H-7 (brass cap in monument case) for centerline monuments when the road is constructed.
   e. This development shall comply with the Franklin County Comprehensive Parking Ordinance, as defined in Franklin County Code Section 10.12, except that provisions for "on-street parking on one side of County roads" will not be permitted.
   f. Cul-de-sacs shall be designed with a 47 foot minimum radius, per Franklin County Design Standards, Division 1-03.4. The cul-de-sac shall be a hard surface, per Franklin County Code Section 16.12.020(D)(2), . The minimum right-of-way shall be 55 feet or larger to accommodate the hard surface and allow for proper drainage ditches or swales.
   g. Prior to final plat approval, all roads must be completed to county standards.
   h. The final plat shall be accompanied with State Plane Coordinates conforming to Franklin County Subdivision Ordinance Section 7.10 (C)(1) and as set forth by state statues for recording coordinates as described in RCW 58.20.180.

i. This development is within the Burns Road Mitigation Fee area from mile post 2.54 to 3.48. A per lot mitigation fee of $519 has been set and will be required for all lots.

~~j. Burns Road is an Urban Major Collector and requires an additional 10 feet of right-of-way to be dedicated.~~

k. The developer shall provide landscape fabric and river rock, basalt rock, gravel or other traditional residential landscaping material within the unimproved portion of the right-of-way between the property line/estate wall and the edge of pavement and/or curb to assist in weed control along Burns Road.

l. A signature must be obtained from the Public Works office. To expedite the process, the applicant shall address all comments and email a final copy for review along with any additional documents (i.e. closure notes). A field check will be scheduled if needed. Once complete, Public Works will notify the applicant if any conditions remain or if all the conditions have been met and a signature can be obtained.

2. **South Columbia Basin Irrigation District:** The project is located within the South Columbia Basin Irrigation District. No comments were received regarding this proposal.

3. **Benton-Franklin Health District**: Applicant shall meet and comply with the standards of the Benton-Franklin Health Department (See letter dated May 12, 2021 from BFHD to Applicant).

The Health District made the following findings:

a. There are 55 proposed lots.
b. Proposed land use is for single family dwellings.
c. All proposed lots are to be served by domestic water from the City of Pasco.
d. Soil logs excavated throughout the property found predominately Type 1 soils (extremely gravelly soils) below a sandy loam topsoil.
e. Most lots are relatively flat throughout the property, with the west lots along the river slightly sloped to the west.

The Health district further states these findings indicate the plat generally meets their requirements for plats utilizing on-site sewage disposal systems and Single Family Wells provided the following conditions are met:

i. All lots within the plat must contain a minimum of ½ acre of gross land area and contain a minimum of 21,760 square feet of usable land area after all easements and encumbrances are subtracted.
ii. All irrigation lines, canals, and surface waters within 150ft of the plat are shown on the plat map, including 100' setback from the river.
iii. The test holes evaluated on this property revealed extremely gravelly soils (Type 1 soils). The sewage systems currently serving the existing residences on proposed lots 5 & 7 are the conventional/dosed gravity systems from 1993 and 1996 respectively. To develop this property, the onsite sewage systems must meet our regulations in place at time of development. Either these existing lots must remain 2.5 acres or at minimum, a system meeting Treatment Level C shall be permitted, inspected, and approved prior to plat approval.

iv. If the existing lots with wells become less than 1 acre, the wells must be decommissioned in accordance with Washington State Department of Ecology standards prior to final plat approval. Documentation must be submitted to this office.

v. Any wells within 150' of this development shall be shown on the plat and shall include the 100' protective well radius.

vi. The following statement is to be placed on the final plat:

"This plat appears to have suitable conditions for the use of on-site sewage disposal systems. However, because of the nature of the testing methods used, we have no way of determining whether each lot can comply with Benton- Franklin District Board of Health Rules and Regulations at the time of permit issuance.

"Further be advised this department's approval of any lot within this plat for the use of on-site sewage disposal systems may be contingent upon that lot passing additional soil inspections/percolation tests, and/or other requirements at a later date.

"The lots within this plat may have specific limitations and/or restrictions for the placement of on-site sewage disposal systems. The Benton-Franklin Health Department should be contacted for further information."

vii. Prior to issuance of on-site sewage disposal permits, additional test holes may be required to verify acceptable area for initial and replacement sewage disposal system and design criteria such as trench depth on each lot.

viii. Prior to final approval, a long plat final review fee (Code 54.37 for $200) must be submitted to this office for the final walk through review of the plat for compliance with Benton-Franklin Health Department Rules and Regulations No. 2, and WAC 246- 272A, and for the issuance of appropriate comments to the Franklin County Planning Department.

ix. It is recommended that some provision be made to facilitate future connection to a municipal sewer utility at such time as said utility becomes available.

4. **Franklin PUD**: No comments received.

5. **Franklin County Assessor's Office**: No comments received.

6. **WSDOT:** Please see attached letter dated June 29, 2021. WSDOT is not against the proposal.

7. **US Bureau of Reclamation**: Stated this project site is within the South Columbia Irrigation District, but expressed no concern with this proposal regarding its facilities. Please see comment letter dated June 30, 2021.

8. **Department of Ecology:** No comments received.

9. **Pasco School District 1:** An agreement has been reached between the applicant and the Pasco School District regarding impacts from the proposal to Pasco School District facilities.

10. **City of Pasco**: provided comment in July 1, 2021 memo, dated 7/1/21.

11. **County Planning and Building Department:** The County Planning and Building Department has determined the following for this application:

a. The application is to subdivide six (6) parcels totaling approximately 37.5 acres into fifty-five (55) single-family residential lots. There will be a potential increase of forty-nine (49) more homes to be developed, over what is currently entitled from existing recorded lots.

b. The land is zoned RS-20 and lies within an area designated as "Low Density Residential" in the City of Pasco Comprehensive Plan.

c. The developer is proposing that the development will be served by septic and that each lot will be eligible for an on-site septic system.

d. The developer is proposing that the development will be served by City of Pasco for water and that each lot will be eligible for City of Pasco.

e. ~~The areas of the site contain critical erosion hazard areas per Franklin County's erosion and landslide hazard map. The applicant submitted a topographic map confirming the steep slopes.~~

f. The property is near a Flood Zone and Lots 5-15 are located within a designated floodplain. "This short plat is located adjacent to a FEMA Flood Zone and as such storm water retention is required. Roads or other impervious improvements shall be designed and engineered to maintain up to a 100 year storm event on site" and the department recommends that the same statement should be included on the face of the subdivision plat.

g. A geotechnical report has been generated for this proposal, titled "Spencer Estates Phase 4 Residential Development, Franklin County Washington by Baer Testing Inc. (dated May 24, 2021), including addendums to the report.

i. Future development on the site will be subject to standards and requirements in effect at the time that the building permits are applied for. Currently, the following applies, among other requirements, included in Title 17 (Zoning): Residential Design Standards of FCC 17.66.180, Landscape and Screening Design Standards of FCC 17.74.050, and Outdoor Residential Lighting Standards of FCC 17.66.150.

j. **The department recommends the following language should be listed on the final plat under Notes**:

- Irrigation Requirements: All lots within this development shall at all times have an outside irrigation source provided to them for the life of this development.

- During construction on each property, all construction debris shall be maintained on-site and properly disposed of. Dust control measures including an adequate water supply shall be provided.

- All lots in the development are subject to **Park Dedication Fees** ($300.00 per new lot/expected new dwelling unit). These fees may be paid prior to recording the final subdivision plat or at the time when a building permit is to be issued for the applicable lot(s). If the applicant chooses to not pay the fees prior to recording, then **a statement shall be placed on the final plat** stating that Park Dedication Fees apply to all lots in the development and shall be paid prior to building permit issuance for a new home on each applicable lot.

k. The applicant should coordinate with the Planning and Building Department and County GIS Manager for the designation of **addresses and road names** for the development. **Both addresses and road names shall be shown on the final plat.**

l. The applicant should coordinate with the **Post Office** regarding centralized box unit (CBU) locations for the development, if necessary.

m. The land should be in compliance with the County Fire and Nuisance codes at all times.

m. Preliminary plat approval is valid for a **five (5) year period** following approval by the Board of County Commissioners.

o. As proposed by the applicant this project will occur in one (1) phase.

p. A State Environmental Policy Act (SEPA) review has been completed for this project. A Determination of Non-Significance (DNS) was issued on June 17, 2021. Interested public and agencies were allowed to submit comments by July 1, 2021. **The DNS contains 6 mitigation measures.** However, due to a scriber's error, an amended DNS was issued, removing Finding #6 and Mitigations #1 & #2. Said amended DNS was sent to all agencies on June 21, 2021. No agencies expressed concerns regarding the removal of said finding or mitigations.

PUBLIC COMMENTS / ADDITIONAL BASIS FOR FINDINGS:
The Planning Department received no comments from the public prior to the preparation of this report. Any additional written comments or testimony received prior to, or at, the Planning Commission Public Hearing may be entered into the record at the meeting.

RECOMMENDATION: (SUB 2021-05)

According to **Chapter 16.20 (Preliminary Plat)** of the Franklin County Code, the Planning Commission shall:

1. Make and enter findings of fact from the record and conclusions thereof.
2. Render a recommendation to the Board of Commissioners as to whether the proposal be denied, approved, or approved with modifications and/or conditions.

Findings of Fact Criteria by Planning Commission: The planning commission shall make and enter findings from the record and conclusions thereof as to whether or not:

1. Adequate provisions are made for the public health, safety and general welfare and for open spaces, drainage ways, roads, alleys, or other public ways, water supplies, sanitary wastes, parks, playgrounds and other public needs;
2. The proposed subdivision contributes to the orderly development and land use patterns in the area;
3. The public use and interest will be served by permitting the proposed subdivision;
4. The proposed subdivision conforms to the general purposes of any applicable policies or plans which have been adopted by the Board of County Commissioners;
5. The proposed subdivision conforms to the comprehensive plan and zoning requirements;
6. The proposed subdivision conforms to the general purposes of the Subdivision Ordinance.

Staff: The Franklin County Planning Department staff recommends that the Planning Commission forward a **POSITIVE RECOMMENDATION** to the Board of County Commissioners for application SUB 2021-05. This **POSITIVE RECOMMENDATION** may be forwarded with the following suggested findings of fact, conclusions of law, and suggested conditions of approval:

Suggested Findings of Fact:

1. Adequate provisions **have** been made for the public health, safety and general welfare and for open spaces, drainage ways, roads, alleys, or other public ways, water supplies, sanitary wastes, parks, playgrounds and other public needs;

    a. Comprehensive Plan: The application is in compliance with the Franklin County Comprehensive Plan.

        i. The property is zoned Residential Suburban 20 (RS-20)

        ii. The Comprehensive Plan designation for the property is "Low Density Development."

        iii. The property is located inside of the City of Pasco Urban Growth Area.

    b. Health:

        The public health will not be negatively impacted by this proposal as current state requirements require compliance with septic standards.

    c. Water Supplies:

        The applicant is required to comply with all requirements, as provided by the City of Pasco, regarding connecting to the City of Pasco water system.

    d. Roads/Access:

        The property is generally located east of the Columbia River, immediately north of Burns Road. (Parcel Numbers: 126-150-017) The proposed subdivision will be accessed via Burns road, from the south, and from Burns Estates, Phase 3 to the

north, with interior lots connecting to a residential access road built to County standards. No lots, other than Lot 5, shall have direct access to Burns Road.

e. Septic System:

The applicant is required to comply with local Health Department standards as it relates to the sanitary wastes (i.e. septic systems). The Health District has determined the following findings, and set forth conditions for the use of on-site septic systems.

i. There are 55 proposed lots.
ii. Proposed land use is for single family dwellings.
iii. All proposed lots are to be served by domestic water from the City of Pasco.
iv. Soil logs excavated throughout the property found predominately Type 1 soils (extremely gravelly soils) below a sandy loam topsoil.
v. Most lots are relatively flat throughout the property, with the west lots along the river slightly sloped to the west.

The Health district further states these findings indicate the plat generally meets their requirements for plats utilizing on-site sewage disposal systems and Single Family Wells provided the following conditions are met:

i. All lots within the plat must contain a minimum of ½ acre of gross land area and contain a minimum of 21,760 square feet of usable land area after all easements and encumbrances are subtracted.
ii. All irrigation lines, canals, and surface waters within 150ft of the plat are shown on the plat map, including 100' setback from the river.
iii. The test holes evaluated on this property revealed extremely gravelly soils (Type 1 soils). The sewage systems currently serving the existing residences on proposed lots 5 & 7 are the conventional/dosed gravity systems from 1993 and 1996 respectively. To develop this property, the onsite sewage systems must meet our regulations in place at time of development. Either these existing lots must remain 2.5 acres or at minimum, a system meeting Treatment Level C shall be permitted, inspected, and approved prior to plat approval.
iv. If the existing lots with wells become less than 1 acre, the wells must be decommissioned in accordance with Washington State Department of Ecology standards prior to final plat approval. Documentation must be submitted to this office.
v. Any wells within 150' of this development shall be shown on the plat and shall include the 100' protective well radius.
vi. The following statement is to be placed on the final plat:
"This plat appears to have suitable conditions for the use of on-site sewage disposal systems. However, because of the nature of the testing methods used, we have no way of determining whether each lot can comply with Benton-Franklin District Board of Health Rules and Regulations at the time of permit issuance.

"Further be advised this department's approval of any lot within this plat for the use of on-site sewage disposal systems may be contingent upon that lot

passing additional soil inspections/percolation tests, and/or other requirements at a later date.

"The lots within this plat may have specific limitations and/or restrictions for the placement of on-site sewage disposal systems. The Benton-Franklin Health Department should be contacted for further information."

vii. Prior to issuance of on-site sewage disposal permits, additional test holes may be required to verify acceptable area for initial and replacement sewage disposal system and design criteria such as trench depth on each lot.

viii. Prior to final approval, a long plat final review fee (Code 54.37 for $200) must be submitted to this office for the final walk through review of the plat for compliance with Benton-Franklin Health Department Rules and Regulations No. 2, and WAC 246- 272A, and for the issuance of appropriate comments to the Franklin County Planning Department.

ix. It is recommended that some provision be made to facilitate future connection to a municipal sewer utility at such time as said utility becomes available.

f. School/School grounds:

The project is located within the Pasco School District 1 boundaries. Appropriate provisions for schools/school grounds are provided through public approved levies and general obligation bond measures. These funding mechanisms fund property acquisitions, fulfill maintenance and operations obligations, and fund new school construction. Washington state capital construction funds are commonly available on a match basis for school related construction.

No school impact fees have been implemented by Franklin County. However, the applicant has entered into an agreement with PSD1 to mitigate potential impacts to the school system.

g. Storm water:

Current county code requires that storm water be adequately addressed at the time of road construction and development. It is typical that engineered drainage swales are developed that will assist in compliance with storm water standards/ requirements.

g. Parks:

Providing for adequate parks or other recreational facilities is necessary at the time of subdivision approval. Current county code requires that land be dedicated or a cash payment in lieu of dedication be provided.

h. Irrigation:

The project is located within the boundaries of the South Columbia Basin Irrigation District. The applicant has indicated that irrigation water will be provided to each lot via a private irrigation network that is supplied by South Columbia Basin

Irrigation District. The project land does not currently have an irrigation water allotment; for irrigation water to be supplied, a Municipal and Industrial (M&I) Water Service Contract must be obtained from the United States Bureau of Reclamation.

i. Fire Protection:

The project is in the boundaries of Franklin County Fire District #3. The Plat will be utilize an underground water tank that will maintain year-round full storage. The County has adopted the 2018 International Fire Code. FD#3 is the reviewing agency during the subdivision review and processing to ensure compliance with fire protection standards. The applicant has proposed the use of fire hydrants, with water provided by the City of Pasco, for fire suppression.

2. The proposed subdivision **does** contribute to the orderly development and land use patterns in the area;

a. The property is zoned Residential Suburban 20 (RS-20) and the development is consistent with the land use patterns in the area. The City of Pasco Comprehensive Plan designates this area for Low Density Development.

b. All lots comply with the required width/depth and lot frontage standards for new lots.

3. The public use and interest **will** be served by permitting the proposed subdivision;

a. The development, as conditioned, complies with the County Development Regulations.

b. Payment of park dedication fees benefit the public use and interest of this area.

4. The proposed subdivision **does** conform to the general purposes of any applicable policies or plans which have been adopted by the Board of County Commissioners;

a. The proposed subdivision conforms to the minimum lot size requirements of the Franklin County Zoning Ordinance.

b. The proposed subdivision conforms to the requirements of the Franklin County Subdivision Ordinance, including the minimum lot dimensions, lot requirements, and width/depth standards.

c. Portions of the site lie within a designated floodplain. A geotechnical report has been generated for this proposal, titled "Spencer Estates Phase 4 Residential Development, Franklin County Washington by Baer Testing Inc. (dated May 24, 2021), including addendums to the report. The project shall be developed in accordance with recommendations and requirements of said report.

d. A State Environmental Policy Act (SEPA) review has been completed for this project.

5. The proposed subdivision **does** conform to the comprehensive plan and zoning requirements;

   a. The City of Pasco Comprehensive Plan designates this area for Low Density Development.

   b. The average lot size in the new development is approximately 24,836 square feet. The new lots comply with the minimum lot size requirement of the zoning district.

   c. The development conforms to both the current zoning designation and the Comprehensive Plan.

6. The proposed subdivision **does** conform to the general purposes of the Subdivision Ordinance.

   a. This development does comply with the purpose of the County Subdivision code. The purpose of the code is to regulate the division of land within unincorporated Franklin County. This Ordinance is to also further the purpose of promoting the health, safety, convenience, comfort, prosperity, and general welfare of the present and future inhabitants of Franklin County, and to:

      i. Prevent the overcrowding of land;

         Each lot in the development is 22,943 square feet or greater size which complies with the zoning ordinance and comprehensive plan.

      ii. Lessen congestion and promote safe and convenient travel by the public on roads and highways;

         The proposal effectively adds fort-nine (49) new homes to the development potential of the site, which will produce additional trips on the highway system but will not result in detrimental effects that cannot be mitigated.

      iii. Promote the effective use of land;

         The development utilizes the existing landscape and fulfils the intent of the County Zoning code.

      iv. Provide for adequate light and air;

         The proposed sizes of the new lots in the development are of a size to provide adequate light and air to new homes and the surrounding lands.

      v. Facilitate adequate provision for water, sewerage, drainage, parks and recreational areas, and other public requirements;

         Adequate provisions are being proposed and required for this development as it relates to water, sewerage, drainage, parks and recreational areas, and

other public requirements. These provisions are addressed specifically in Findings of Fact #1.

vi. Provide for proper ingress and egress;

Proper ingress and egress are provided for this development. The Franklin County Public Works Department has reviewed the proposal for proper ingress and egress.

vii. Provide for the expeditious review and approval of proposed land divisions which comply with this Ordinance, the Franklin County Zoning Standards, other County Plans, policies and land use controls, and Chapter 58.17 R.C.W;

The land development process for this project complies with all applicable County Ordinances, R.C.W.'s, and associated timelines for development review.

viii. Adequately provide for the housing, commercial, and industrial needs of the citizens of the State and County;

This 55-lot development is located in an area zoned Residential Suburban 20 Zone (RS-20) which has a large lot residential environment intent.

ix. Require uniform monumenting of land divisions and conveyance by accurate legal descriptions;

The development proposal complies with the provisions of the County Subdivision Ordinance as it relates to monumenting and legal description development.

x. Implement the goals, objectives and policies of the Comprehensive Plan;

The Franklin County Comprehensive Plan designates this property for Rural Shoreline Development.

The proposed development proposes an average lot size of 24,836 square feet, is in compliance and consistent with local land use controls, and is compatible with the surrounding residential area.

Suggested Conclusions of Law:

1. An application was received for the **Spencer Estate, Phase 4** preliminary plat on May 14, 2021, and the application was deemed complete on May 17, 2021.

2. The SEPA process has been completed and a DNS was issued.

3. Following an open record pre decision hearing on a proposed preliminary plat, the Planning Commission shall render a recommendation to the board of county commissioners as to

whether the proposal based on the findings shall be denied, approved or approved with medications or conditions.

4. The review criteria of FCC 16.20.070 were used to develop the findings of fact.

Suggested Conditions of Approval:

1. Applicant shall comply with the **County Public Works Department** requirements including:

   a. The final plat shall be accompanied with closure notes conforming to Franklin County Subdivision Ordinance Section 7.10 (C)(4) for the subdivision boundary and all lots.
   b. The following notes are required on the final plat:
      i. *All new approaches to County Roads will require an approach permit at the time of building permit application. A mitigation fee is required and will be collected at the time of road approach permit issuance.*
      ii. *Other than Lot #5, no lot within this subdivision shall have direct access to Burns Road.*
      iii. *Lot owners shall agree to participate in any future L.I.D. / R.I.D.'s for roads, drainage, curb & gutters, streetlights, storm sewers, water and/or sanitary sewers.*
      iv. *Lot owners shall be responsible for the maintenance of drainage ditches or swales per the design as shown on the road construction plans for this development, unless they are no longer necessary due to an alternate drainage system being installed.*
      v. *Lot owners shall provide landscaping within the unimproved portion of the right-of-way between the property line and the edge of pavement and/or curb. This shall consist of grass/lawn, river rock, basalt rock, gravel or other traditional residential landscaping material. Maintenance of the landscaping is the requirement of each individual lot owner.*
   c. All utilities serving the subdivision must be installed underground, per Franklin County Code Chapter 7, Section 7.9A.
   d. Permanent control monuments shall be installed in accordance with Franklin County Standard Plans H-6 and H-7 (brass cap in monument case) for centerline monuments when the road is constructed.
   e. This development shall comply with the Franklin County Comprehensive Parking Ordinance, as defined in Franklin County Code Section 10.12, except that provisions for "on-street parking on one side of County roads" will not be permitted.
   f. Cul-de-sacs shall be designed with a 47 foot minimum radius, per Franklin County Design Standards, Division 1-03.4. The cul-de-sac shall be a hard surface, per Franklin County Code Section 16.12.020(D)(2), . The minimum right-of-way shall be 55 feet or larger to accommodate the hard surface and allow for proper drainage ditches or swales.
   g. Prior to final plat approval, all roads must be completed to county standards.

h. The final plat shall be accompanied with State Plane Coordinates conforming to Franklin County Subdivision Ordinance Section 7.10 (C)(1) and as set forth by state statues for recording coordinates as described in RCW 58.20.180.

i. This development is within the Burns Road Mitigation Fee area from mile post 2.54 to 3.48. A per lot mitigation fee of $519 has been set and will be required for all lots.

~~j. Burns Road is an Urban Major Collector and requires an additional 10 feet of right of way to be dedicated.~~

k. The developer shall provide landscape fabric and river rock, basalt rock, gravel or other traditional residential landscaping material within the unimproved portion of the right-of-way between the property line/estate wall and the edge of pavement and/or curb to assist in weed control along Burns Road.

l. A signature must be obtained from the Public Works office. To expedite the process, the applicant shall address all comments and email a final copy for review along with any additional documents (i.e. closure notes). A field check will be scheduled if needed. Once complete, Public Works will notify the applicant if any conditions remain or if all the conditions have been met and a signature can be obtained.

2. The plat must have irrigation water delivery and therefore must the meet conditions set forth by the **South Columbia Basin Irrigation District:**

   a. A Municipal and Industrial (M&I) Water Service Contract must be obtained from the United States Bureau of Reclamation Ephrata Field Office. Contact Amy Rodman for more details at 509-754-0238.

3. **Benton-Franklin Health District**: The applicant shall meet and comply with the standards and adopted rules of the Health District:

   The applicant is required to comply with local Health Department standards as it relates to the sanitary wastes (i.e. septic systems). The Health District has determined the following findings, and set forth conditions for the use of on-site septic systems.

   vi. There are 55 proposed lots.
   vii. Proposed land use is for single family dwellings.
   viii. All proposed lots are to be served by domestic water from the City of Pasco.
   ix. Soil logs excavated throughout the property found predominately Type 1 soils (extremely gravelly soils) below a sandy loam topsoil.
   x. Most lots are relatively flat throughout the property, with the west lots along the river slightly sloped to the west.

   The Health district further states these findings indicate the plat generally meets their requirements for plats utilizing on-site sewage disposal systems and Single Family Wells provided the following conditions are met:

   x. All lots within the plat must contain a minimum of ½ acre of gross land area and contain a minimum of 21,760 square feet of usable land area after all easements and encumbrances are subtracted.
   xi. All irrigation lines, canals, and surface waters within 150ft of the plat are shown on the plat map, including 100' setback from the river.

xii. The test holes evaluated on this property revealed extremely gravelly soils (Type 1 soils). The sewage systems currently serving the existing residences on proposed lots 5 & 7 are the conventional/dosed gravity systems from 1993 and 1996 respectively. To develop this property, the onsite sewage systems must meet our regulations in place at time of development. Either these existing lots must remain 2.5 acres or at minimum, a system meeting Treatment Level C shall be permitted, inspected, and approved prior to plat approval.

xiii. If the existing lots with wells become less than 1 acre, the wells must be decommissioned in accordance with Washington State Department of Ecology standards prior to final plat approval. Documentation must be submitted to this office.

xiv. Any wells within 150' of this development shall be shown on the plat and shall include the 100' protective well radius.

xv. The following statement is to be placed on the final plat:
"This plat appears to have suitable conditions for the use of on-site sewage disposal systems. However, because of the nature of the testing methods used, we have no way of determining whether each lot can comply with Benton-Franklin District Board of Health Rules and Regulations at the time of permit issuance.

"Further be advised this department's approval of any lot within this plat for the use of on-site sewage disposal systems may be contingent upon that lot passing additional soil inspections/percolation tests, and/or other requirements at a later date.

"The lots within this plat may have specific limitations and/or restrictions for the placement of on-site sewage disposal systems. The Benton-Franklin Health Department should be contacted for further information."

xvi. Prior to issuance of on-site sewage disposal permits, additional test holes may be required to verify acceptable area for initial and replacement sewage disposal system and design criteria such as trench depth on each lot.

xvii. Prior to final approval, a long plat final review fee (Code 54.37 for $200) must be submitted to this office for the final walk through review of the plat for compliance with Benton-Franklin Health Department Rules and Regulations No. 2, and WAC 246- 272A, and for the issuance of appropriate comments to the Franklin County Planning Department.

xviii. It is recommended that some provision be made to facilitate future connection to a municipal sewer utility at such time as said utility becomes available.

4. **Franklin PUD:** None.

5. **Franklin County Assessor's Office**: None.

6. **County Planning and Building Department:** Applicant shall meet and comply with the following requirements and standards, in addition to the SEPA conditions / mitigation measures:

a. If required, a utility extension agreement will need to be entered into for City Utilities and Approved by City Council.

b. Portions of the site lie within a designated floodplain. A geotechnical report has been generated for this proposal, titled "Spencer Estates Phase 4 Residential Development, Franklin County Washington by Baer Testing Inc. (dated May 24, 2021), including addendums to the report. The project shall be developed in accordance with recommendations and requirements of said report.

c. **The following language shall be listed on the final plat under notes,** in addition to the fire separation standards and the park dedication fees notes (unless the park dedication fees are pre-paid):

- *Irrigation Requirements: All lots within this development shall at all times have an outside irrigation source provided to them for the life of this development.*

- *During construction on each property, all construction debris shall be maintained on-site and properly disposed of. Dust control measures including an adequate water supply shall be provided.*

- *The County is not responsible for the maintenance of the private access road nor any associated facilities inside the easement.*

- ***Franklin County is a Right to Farm area**. The Franklin County Right to Farm Ordinance, as amended, shall apply to activities in this area.*

- *This subdivision is located adjacent to a FEMA Flood Zone, and Lots 5-15 are located within a designated flood plain, and as such storm water retention is required. Roads or other impervious improvements shall be designed and engineered to maintain up to a 100 year storm event on site.*

c. All of the statements that are required to be on the face of the plat shall be either: **1)** recorded as a restrictive covenant on each applicable parcel with the County Auditor **OR 2)** described in detail in the developer's covenants that is recorded and provided to each lot owner, prospective landowner, and the Planning Department at the time of final plat approval and recording.

d. The applicant shall coordinate with the Planning and Building Department and County GIS Manager for the designation of **addresses and road names** for the development. **Both addresses and road names shall be shown on the final plat.**

e. The applicant shall coordinate with the **Post Office** regarding centralized box unit (CBU) locations for the development.

f. The land shall be in compliance with the County Fire and Nuisance codes at all times.

g. Preliminary plat approval is valid for a **five (5) year period** following approval by the Board of County Commissioners.

h. As proposed by the applicant this project will occur in one (1) phase and is not a phased development.

i. Prior to obtaining the County Treasurer's Signature on the final plat, the applicant shall visit the County **Assessor's Office** to receive a Treasurer's Verification Form for the property.

Further, the applicant is encouraged to contact the **Assessor's Office and/or Treasurer's Office** to discuss potential property tax implications of the platting process. Items such as the removal of an open space designation and/or an advanced tax payment requirement for the property may be applicable.

j. The Final Plat:

i. The Final Plat shall be developed by a licensed Surveyor.

ii. The Final Plat shall be developed in accordance with the County Subdivision Ordinance. See Franklin County Code Title 16 for specifications. The Planning and Building Department may be contacted at (509) 545-3521. The County Subdivision Ordinance may be found on-line at: http://www.co.franklin.wa.us/planning/subdivision_ordinance.html.

iii. The Final Plat Signature Blocks shall be provided for the following: Big Bend Electric Coop; Chair, Franklin County Planning Commission; Chair, Board of County Commissioners; Benton Franklin Health District; USBR and SCBID (see specifications for the Bureau's signature block statement); County Engineer; County Treasurer; County Assessor; and County Auditor.

iv. The final five (5) signatures (for final plat approval) to be obtained by the applicant are: #5 County Assessor; #4 County Treasurer (Ensure taxes are paid accordingly; Also see RCW 58.05.040); #3 County Planning Commission Chair (See Planning and Building Department for assistance in obtaining signature); #2 Chairman of Board of County Commissioners (County Commissioners typically sign final approval resolutions during a regularly scheduled public meeting date); #1 County Auditor's Office (Recording of the final plat).

k. After final plat recording, one (1) paper copy and one (1) electronic copy (disk, cd, or e-mail-pdf) of the recorded plat shall be distributed to the Planning Director and one (1) paper copy to the County Assessor.

Agenda Item #2

APPLICATION, SEPA DETERMINATION & SEPA CHECKLIST

SUB 2021-05

Big Sky Development – 55-lot Single-Family Residential Subdivision

AQTERA™ ENGINEERING

Written Narrative for Spencer Estates Phase 4 - Preliminary Plat

Big Sky Developers, LLC is seeking to develop the proposed preliminary plat (subdivision) known as Spencer Estates Phase 4. The project site is 37.5 acres of RS-20 zoning and is currently being used primarily for agricultural production. The site is made up of parcels 126150094, 126150142, 126150147, 126150156, 126150165, and 126150174 in Franklin County. The site is located at 4160 Burns Rd, Pasco, north of Burns Rd. The site is located within the City of Pasco Urban Growth Area (UGA).

The proposed 37.5-acre subdivision consists of 55 single-family residential lots, ranging from 0.5 to 1.0 acres, with an average lot size of 0.6 acres. It is anticipated that the subdivision will be constructed in a single phase (pending plat conditions), with 6.1 acres being dedicated to County right-of-way and constructed per Franklin County code and construction standards. Access to the site will be from Burns Road south of the site, as well as from the Burns Estates Phase 3 subdivision north of the site.

The proposed subdivision will utilize private onsite sewage systems (OSS) for sewage disposal, City of Pasco potable water for domestic use and fire suppression, and a private irrigation network. Stormwater runoff generated onsite will be collected and disposed of onsite via roadside swales and surface/subsurface infiltration.

There are no known critical areas identified within the project site. Flood Insurance Rate Map (FIRM) 5300440675B classifies the site as an area of minimal flooding (zone C), with the 100-yr floodplain terminating at Shoreline Drive. The project site is uphill of Shoreline Drive and not within the 100-yr floodplain.

Assuming the project will be completed in a single phase, construction activities for this project are expected to start in the Spring of 2022. Upon final plat approval, single-family housing will begin construction within the development.

SPENCER ESTATES PH. 4 - PRELIMINARY PLAT

A PORTION OF THE SW 1/4 OF THE SW 1/4 OF SEC. 1, TWN. 9, RGE. 28, W.M.
FRANKLIN COUNTY, WASHINGTON

GENERAL NOTES

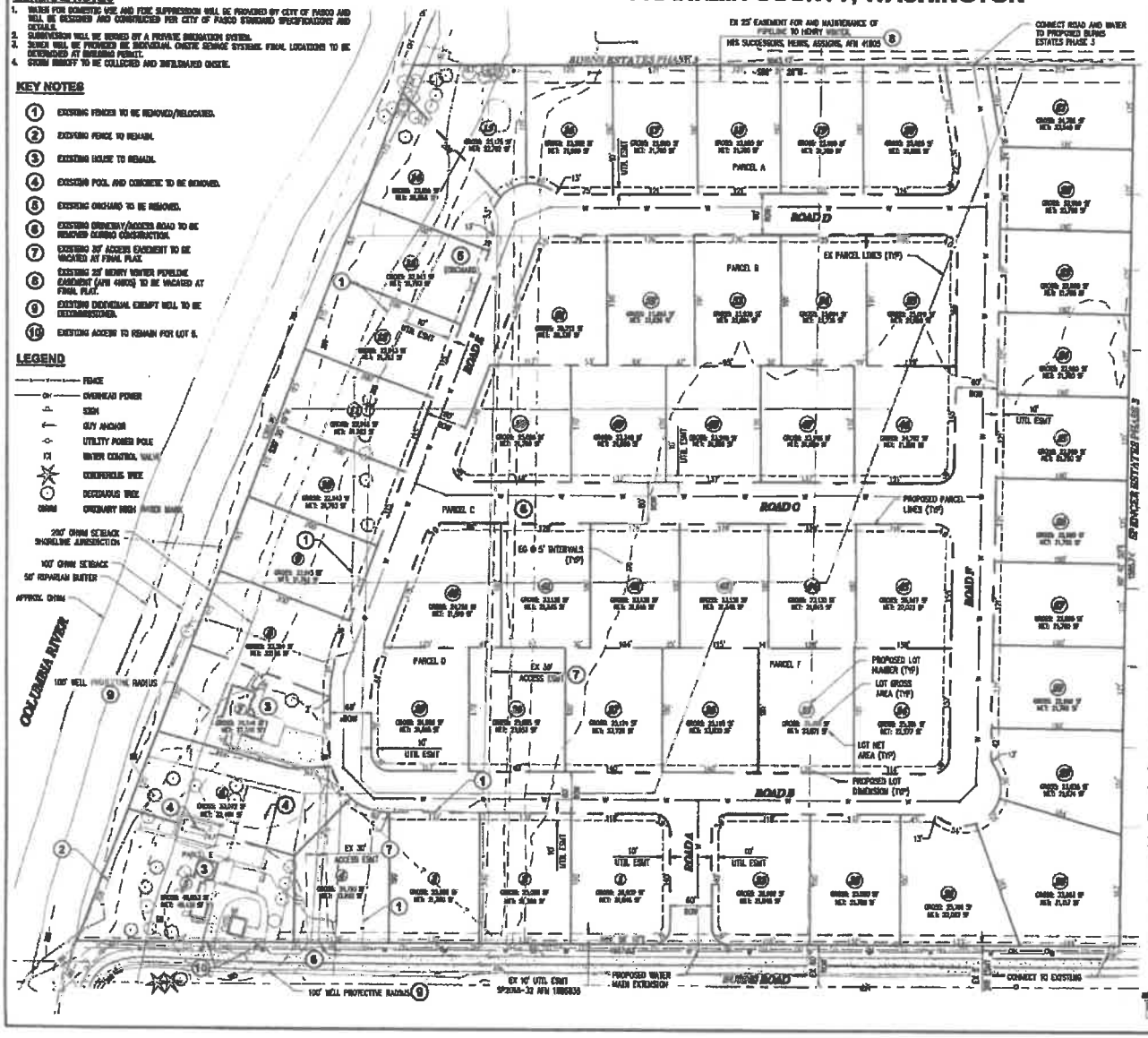
1. WATER FOR DOMESTIC USE AND FIRE SUPPRESSION WILL BE PROVIDED BY CITY OF PASCO AND WILL BE DESIGNED AND CONSTRUCTED PER CITY OF PASCO STANDARD SPECIFICATIONS AND DETAILS.
2. SUBDIVISION WILL BE SERVED BY A PRIVATE IRRIGATION SYSTEM.
3. SEWER WILL BE PROVIDED BY INDIVIDUAL ONSITE SEWAGE SYSTEMS. FINAL LOCATIONS TO BE DETERMINED AT BUILDING PERMIT.
4. STORM RUNOFF TO BE COLLECTED AND INFILTRATED ONSITE.

KEY NOTES

1. EXISTING FENCES TO BE REMOVED/RELOCATED.
2. EXISTING FENCE TO REMAIN.
3. EXISTING HOUSE TO REMAIN.
4. EXISTING POOL AND CONCRETE TO BE REMOVED.
5. EXISTING ORCHARD TO BE REMOVED.
6. EXISTING DRIVEWAY/ACCESS ROAD TO BE REMOVED DURING CONSTRUCTION.
7. EXISTING 30' ACCESS EASEMENT TO BE VACATED AT FINAL PLAT.
8. EXISTING 25' HENRY WATER PIPELINE EASEMENT (AFN 48805) TO BE VACATED AT FINAL PLAT.
9. EXISTING INDIVIDUAL EXEMPT WELL TO BE DECOMMISSIONED.
10. EXISTING ACCESS TO REMAIN FOR LOT 5.

LEGEND

- FENCE
- OVERHEAD POWER
- SIGN
- GUY ANCHOR
- UTILITY POWER POLE
- WATER CONTROL VALVE
- CONIFEROUS TREE
- DECIDUOUS TREE
- OHWM ORDINARY HIGH WATER MARK
- 200' OHWM SETBACK SHORELINE JURISDICTION
- 100' OHWM SETBACK 50' RIPARIAN BUFFER
- APPROX. OHWM
- 100' WELL PROTECTIVE RADIUS



LEGAL DESCRIPTION

FOR BENTON FRANKLIN TITLE COMPANY
ORDER NO. BF5000 DATED FEBRUARY 3, 2021

PARCEL A (126-050-147):

THAT PORTION OF GOVERNMENT LOT 4 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, ALL IN SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOW: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1; THENCE NORTH 89°01'06" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1,636.34 FEET; THENCE NORTH 21°26'06" EAST 104.04 FEET; THENCE SOUTH 68°33'54" EAST 133.42 FEET; THENCE NORTH 21°26'06" EAST 53.85 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 21°26'06" EAST 208.20 TO THE NORTH LINE OF SAID SOUTH HALF OF THE SOUTHWEST QUARTER; THENCE NORTH 89°33'54" WEST ALONG SAID NORTH LINE, 658.28 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1004492; THENCE SOUTH 21°26'06" WEST ALONG SAID EAST LINE, 208.20 FEET; THENCE SOUTH 89°33'54" EAST 658.28 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 1 (1-9-28) OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 2142010)

PARCEL B (126-050-136):

THAT PORTION OF GOVERNMENT LOT 4 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, ALL IN SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1; THENCE NORTH 89°01'06" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1,636.34 FEET; THENCE NORTH 21°26'06" EAST 104.04 FEET; THENCE NORTH 68°33'54" EAST 133.42 FEET; THENCE NORTH 21°26'06" EAST 208.20 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 21°26'06" EAST 208.20 FEET; THENCE NORTH 89°33'54" WEST 658.28 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1004492; THENCE SOUTH 21°26'06" WEST ALONG SAID EAST LINE, 208.20 FEET; THENCE SOUTH 89°33'54" EAST 658.28 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 2 (1-9-28) OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 2142010)

PARCEL C (126-050-148):

THAT PORTION OF GOVERNMENT LOT 4 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, ALL IN SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1; THENCE NORTH 89°01'06" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1,636.34 FEET; THENCE NORTH 21°26'06" EAST 104.04 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 68°33'54" EAST 133.42 FEET; THENCE NORTH 21°26'06" EAST 208.20 FEET; THENCE NORTH 89°33'54" WEST 658.28 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1004492; THENCE SOUTH 21°26'06" WEST ALONG SAID EAST LINE 208.20 FEET; THENCE SOUTH 89°33'54" EAST 658.28 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 3 (1-9-28) OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 2142010)

PARCEL D (126-150-174):

THAT PORTION OF GOVERNMENT LOT 4, SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1; THENCE NORTH 89°01'06" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1,636.34 FEET; THENCE NORTH 21°26'06" EAST 207.07 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 21°26'06" EAST 208.04 FEET; THENCE NORTH 89°33'54" WEST 658.28 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1004492; THENCE SOUTH 21°26'06" WEST ALONG SAID EAST LINE, 208.04 FEET; THENCE SOUTH 89°33'54" EAST 658.28 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 4 OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 4000037)

PARCEL E (126-150-184):

A TRACT OF THE LAND IN GOVERNMENT LOT 4, SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: BEGINNING AT THE GOVERNMENT MONUMENT AT THE INTERSECTION OF THE SOUTH LINE OF SECTION 1 AND EASTERLY BOUNDARY OF GOVERNMENT LOT 4 (WATER FRONTAGE); THENCE EAST 658.28 FEET; THENCE NORTH 90° EAST 279 FEET; THENCE NORTH 77° WEST 338 FEET; THENCE SOUTH 90° WEST 317 FEET TO THE POINT OF BEGINNING.

EXCEPT COUNTY ROADS.

PARCEL F (126-150-142):

LOT 2, SHORT PLAT NO. 2005-32, RECORDED UNDER AUDITOR'S FILE NO. 1886836, RECORDS OF FRANKLIN COUNTY, WASHINGTON.

VICINITY MAP

PROJECT INFO

APPLICANT:
B30 BAY DEVELOPERS, LLC
5428 N ROAD 68, BOX 8-113
PASCO, WA 99301
PH. 509.521.4534
CONTACT: DANE GREENO

CIVIL ENGINEER
AQUTERA ENGINEERING
2700 ST ANDREWS LOOP, SUITE C
PASCO, WA 99301
PH. 509.545.0259
CONTACT: CALEB SCHOMSTEDT, PE

SURVEYOR
APWL, INC
5804 ROAD 68, SUITE H
PASCO, WA 99301
PH. 509.380.9883
CONTACT: JOHN BECKER, PLS

BASIS OF BEARING
NAD 1983/91
WASHINGTON STATE PLANE SOUTH PROJECTION, BASED ON GPS OBSERVATIONS USING NGS3 AND GEOID 12B.
UNITS OF MEASUREMENT ARE US SURVEY FEET.

VERTICAL DATUM
NAVD 1988 VERTICAL DATUM ON GEOMETRICALLY CORRECTED GPS OBSERVATIONS USING NGS3 AND GEOID 12B.

SURVEY EQUIPMENT USED
3" TOTAL STATION UTILIZING SOKKOVIA FIELD TRAVERSE METHODS FOR CONTROL AND STAKING.

UTILITIES/SERVICES
ROADS: FRANKLIN COUNTY PUBLIC WORKS
WATER: CITY OF PASCO
STORM: FRANKLIN COUNTY PUBLIC WORKS (SHOWN RAIN-OFF INFILTRATED ONSITE)
SEWER: INDIVIDUAL ON-SITE SEWAGE SYSTEMS
IRRIGATION: PRIVATE SYSTEM
POWER: FRANKLIN PUD
COMMUNICATION: CHARTER COMMUNICATIONS
LUMEN
GAS: CASCADE NATURAL GAS CORPORATION

SITE INFORMATION
PARCEL NO. 126150044, 126150142, 126150147, 126150148, 126150149 & 126150174
SITE ADDRESS: NOT AVAILABLE
SITE AREA: 37.5 AC

LAND USE TABLE
TOTAL PLAT AREA: 37.5 AC
PROPOSED USE: SINGLE-FAMILY RESIDENTIAL (R9-20)
NUMBER OF LOTS: 56
MINIMUM LOT AREA: 23,043 SF (LOTS 9-13)
MAXIMUM LOT AREA: 43,653 SF (LOT 6)
AVERAGE LOT AREA: 24,638 SF
ROW DEDICATED: 208,123 SF

SPENCER ESTATES PH. 4
PRELIMINARY PLAT
AQ #0000-001
FRANKLIN COUNTY

PRELIMINARY PLAT MAP

REVISIONS

NO.	DATE	DESCRIPTION

AQUTERA ENGINEERING
2700 St. Andrews Loop, Suite C | Pasco, WA 99301
509.545.0259 | www.aquutera.com

SHEET 1 OF 1

FRANKLIN COUNTY
PRELIMINARY PLAT (SUBDIVISION) (SUB)
APPLICATION SUPPLEMENT

Subdivision Submittal Checklist:

✔	**General Land Development Application**
✔	**SUBDIVISION FEE: $800.00 plus $25.00 per lot.** Check made payable to the Franklin County Planning and Building Department.
✔	**$150.00 SEPA Fee:** Check made payable to the Franklin County Planning and Building Department.
✔	**SEPA Checklist:** A completed State Environmental Policy Checklist shall be completed and submitted with this application.
✔	**$80.00 Variance Report Fee:** Check made payable to the Franklin County Assessor's Office. An applicant does not need to contact the Assessor's Office to obtain this report. At the time of application, the Planning Division will request the report from the Assessor's Office. The report includes the Adjoining Property Owners' Names and Addresses (500 feet within an Urban Growth Area or one (1) mile outside an Urban Growth Boundary). As an alternative to the Assessor's Office, an applicant may also obtain this report from a licensed title company. *Please note....the review period **will not begin** until this Variance Report is completed.*
✔	**Proof of Water Availability:** Provide evidence of *legal availability* of water (Water right permit, letter from an approved water purveyor, domestic well permit, etc.) as well as evidence of *quality of water* (A letter from an approved water provider stating the ability to provide water OR notification from the Health District that the water is potable, for wells)
✔	**Preliminary Plat Map:** 2 copies of the plat map from a registered surveyor and 1 copy in a digital or electronic format (PDF on a disk, cd, or e-mail) meeting the requirements of FCC 16.20.040.
✔	**Narrative:** Provide an attachment with a written explanation of the project (the who, what, where, when and how of the proposal). Please be as detailed as possible. Items to include: If you are requesting any deviations to standards, Access to the property and route of travel to the site, Timelines for completion, Presence of critical areas, Any proposed pre-development demolition / septic tank removal, etc., Any proposed or pledged impact mitigation agreements.
✔	**Attach Property information:** *Proposed or recorded* Covenants, Conditions and Restrictions (CC&Rs) or deed restrictions pertaining to or affecting the property (if any), Latecomers agreements.
✔	**Written approval from the Benton-Franklin Health District.** The Health District is located at 7102 West Okanogan Place, Kennewick, WA – (509) 460-4205.

PRELIMINARY PLAT SUPPLEMENTAL INFORMATION

ZONING:
RS-20

IS THE PROPERTY LOCATED WITHIN A FLOODPLAIN? YES ☐ NO ■
IS THE PROPERTY LOCATED WITHIN AN AIRPORT SAFETY OVERLAY? YES ☐ NO ■

PROPOSED SUBDIVISION NAME:
Spencer Estates Phase 4

PARENT LOT/PARCEL SIZE (GROSS ACREAGE):
Parcels: 126150094, 126150142, 126150147, 126150156, 126150165, 126150174 / Size: 37.5 acres

PRESENT USE OF THE LAND AND STRUCTURES, IF ANY:
The are currently two dwelling units, a detached garage, and an in-ground pool located within the project site. The land is presently being used for agricultural production (cherries, potatoes).

ARE YOU PROPOSING TO PHASE THE DEVELOPMENT? ☐ YES ■ NO
IF YES, HOW MANY PHASES ARE YOU PROPOSING AND HOW MANY YEARS UNTIL THE DEVELOPMENT WILL BE FULLY BUILT- OUT?

AVERAGE LOT SIZE: 24,836 SF
SMALLEST LOT SIZE: 22,943 SF
LARGEST LOT SIZE: 45,053 SF
TOTAL NUMBER OF PROPOSED LOTS: 55
TOTAL NUMBER OF PROPSOED DWELLING UNITS: 55
TYPES OF BUILDINGS TO BE CONSTRUCTED (SINGLE FAMILY, DUPLEX, COMMERCIAL, ETC.):
Single Family Residential

ARE YOU PROPOSING TO INCLUDE DESIGNATED OPEN SPACES, PARKS OR RECREATIONAL AREAS?
☐ YES ■ NO
IF YES, DESCRIBE ACREAGE AND TYPES:

DESCRIBE HOW STORMWATER DRAINAGE WILL BE HANDLED:
Roadside swales/ditches, surface and/or subsurface infiltration

ARE ANY OF THE FOLLOWING FEATURES (NATURAL OR MAN-MADE) LOCATED ON THE PROPERTY (CHECK ALL THAT APPLY AND INCLUDE ON A SITE PLAN):
☐ PONDS ☐ LAKES ☐ STREAMS / RIVERS ☐ WETLANDS ☐ FLOODPLAIN ☐ FLOODWAY ☐ STEEP SLOPES (EXCEEDS 15% GRADE) ■ IRRIGATION DITCHES / CANALS

Note: The floodplains limit was determined by FIRM 5300440675B provided by FEMA.

DO YOU PROPOSE THE ON-SITE ROADWAY(S) TO BE PUBLIC OR PRIVATE?
Public

DESCRIBE ANY HOMEOWNER'S OR MAINTENANCE ASSOCATION THAT MAINTAINS ANY EXISTING PRIVATE ROADS:

N/A

DESCRIBE THE PROPOSED METHOD OF FIRE PREVENTION/ SUPPRESSION: City of Pasco domestic water.
ARE YOU PROPOSING SIDEWALKS? ☐ YES ■ NO
IRRIGATION SOURCE: ☐ NONE ■ PRIVATE ☐ SCBID ☐ FCID
DOMESTIC WATER SUPPLY: ☐ ON-SITE WELL ☐ COMMUNITY WELL (Well ID # and location):_____ ■ OTHER (SPECIFY): City of Pasco
SEWAGE DISPOSAL: ■ ON-SITE SEPTIC ☐ OTHER (SPECIFY):
LIST EXISITING OR PROPOSED UTILITY PROVIDERS: Power – Franklin PUD Telephone – Charter, Lumen Natural Gas – Cascade Natural Gas Corporation Cable / Broadband – Charter, Lumen Sanitary waste disposal - On-Site Sewage System

I, the undersigned, hereby authorize the filing of this application and certify under penalty of perjury that the information contained in this application is complete and correct to the best of my knowledge. Further, I hereby grant Franklin County staff or representatives to enter my property during the course of this review to inspect my property as needed.

☑ **This authorizes the designated Applicant's representative (if applicable) to act on behalf of the applicant for the processing of this request.**

DocuSigned by: 141C03A52E2F431... 4/2/2021

Owner Date

DocuSigned by: 0E443EBFD02E4BB... 4/6/2021

Applicant/Representative Date

Print Name: CHUBBY CHERRIES, LLC (ATTN: DOBIE BURNS)

Print Name: CALEB STROMSTAD (REPRESENTATIVE)

Rev. Jan 2019

FRANKLIN COUNTY

PLANNING AND BUILDING DEPARTMENT

GENERAL LAND DEVELOPMENT APPLICATION

FOR STAFF USE ONLY:		
	FILE #:	STAMP HERE:
	Total Fees: $	Reviewed by:
	Receipt #:	Hearing Date:
	Date of Pre-App meeting:	
	Date deemed complete:	

CHECK ALL THAT APPLY AND ATTACH THE SUPPLEMENTAL FORM(S):	
☐ Comprehensive Plan Amendment	☐ Boundary Line Adjustment
☐ Conditional Use Permit	☐ Shoreline Substantial Development
☐ Variance	☐ Shoreline Conditional Use Permit
☐ Rezone	☐ Shoreline Variance
☐ Non-Conforming Use Determination	☐ Shoreline Exemption
☐ Zoning Interpretation / Administrative Decision	☐ Shoreline Non-Conforming
	☒ SEPA Environmental Checklist
☐ Short Plat	☐ Appeal *(File # of the item appealed* _____)
☒ Subdivision (Long Plat)	☐ Critical Areas Determination / Review / Reasonable Use Exemption
☐ Binding Site Plan	
☐ Lot Segregation Request	☐ Temporary Use Permit
☐ Alteration / Vacation	☐ Home Occupation
☐ Planned Unit Development	☐ H2A Farm Worker Housing (zoning review)
☐ Other:	

☒ for contact person:	CONTACT INFORMATION
☐	**Property Owner** Name: Chubby Cherries, LLC (Dobie Burns) Mailing Address: 4161 Burns Road, Pasco, WA 99301 Phone: 509-531-7269 Email: laddermanranch@aol.com
☐	**Applicant / Agent / Contractor (if different)** Company: Big Sky Developers, LLC Name: Dave Greeno Address: 5426 N Road 68, Box D-113, Pasco, WA 99301 Phone: 509-521-4834 Email: ccolre@aol.com
☑	**Surveyor / Engineer** Company: Aqtera Engineering, LLC Name: Caleb Stromstad Address: 2705 St Andrews Loop, Suite C, Pasco, WA 99301 Phone: 509-845-0208 Email: caleb@aqtera.com

BRIEF DESCRIPTION OF PROJECT OR REQUEST:

Subdivide 37.5 acres from parcels 126150094, 126150142, 126150147, 126150156, 126150165, and 126150174 into 55 lots (minimum 0.5 acre) for single family homes. Install necessary infrastructure and utilities to support development.

PROPERTY INFORMATION:

Parcel number(s) (9-digit tax number):

126150094, 126150142, 126150147, 126150156, 126150165, 126150174

Legal Description of Property:

See Preliminary Plat Map.

Site Address *(describe location if no address is assigned):*

4160 Burns Rd, Pasco, WA 99301

- **All appropriate fees must accompany this application. Fees are non-refundable and subject to change. Please contact the Planning Department for current fee totals.**
- **This application, including attachments, must be completed in its entirety for all items applicable to your project.**
- **Supplemental information is generally required for land use approvals. Ensure that all required information is submitted along with this application form.**
- **If the property is owned by a corporation or LLC please attach documentation showing that the person signing as the "owner" has the authority to sign on behalf of the corporation or LLC. If there are multiple owners, provide an attachment in the same format and with the same declarations.**

I, the undersigned, hereby authorize the filing of this application and certify under penalty of perjury that the information contained in this application is complete and correct to the best of my knowledge. Further, I hereby grant Franklin County staff or representatives to enter my property during the course of this review to inspect my property as needed.

I understand that any information submitted to the Franklin County Planning/Building Department is subject to public records disclosure laws for the State of Washington (RCW Chapter 42.17) and all other applicable laws that may require the release of the documents to the public.

☑ **This authorizes the designated Applicant's representative (if applicable) to act on behalf of the applicant for the processing of this request.**

DocuSigned by:
141C03A52E2F431...
Owner — Date: 4/2/2021

Print Name: DOBIE BURNS (CHUBBY CHERRIES)

DocuSigned by:
0E443EBED02E4BB...
Applicant/Representative — Date: 4/6/2021

Print Name: CALEB STROMSTAD (REPRESENTATIVE)

SPENCER ESTATES PHASE 4 RESIDENTIAL DEVELOPMENT FRANKLIN COUNTY, WASHINGTON

For:

MR. DAVE GREENO
BIG SKY DEVELOPERS, LLC
5426 N ROAD 68, BOX D-113
PASCO, WA 993011

Provided By:

Baer Testing & Engineering, Inc.

1106 Ledwich Ave.
Yakima, WA 98902
509-469-3068
general@baertesting.com

May 24, 2021
Project No: 21-102

: (509) 469-3068
: (509) 469-3070
: www.baertesting.com

Baer Testing & Engineering, Inc.

1106 Ledwich Ave.
Yakima, WA 98902

May 24, 2021

Mr. Dave Greeno
Big Sky Developers, LLC
5426 N Road 68, Box D-113
Pasco, WA 99301

RE: GEOTECHNICAL ENGINEERING STUDY; PROPOSED SPENCER ESTATES PHASE 4 RESIDENTIAL DEVELOPMENT, FRANKLIN COUNTY, WASHINGTON

Dear Mr. Greeno:

At your request, Baer Testing & Engineering, Inc. conducted a geotechnical engineering study for the proposed residential development in Franklin County, Washington. This report presents the results of the field explorations, laboratory testing, and engineering analyses.

This report presents recommendations for site grading, utility construction, and seismic design. The report also provides recommendations for building foundation design as well as construction recommendations for the various project features.

We appreciate the opportunity to be of service. If you have questions or comments, please contact our office.

Sincerely,

BAER TESTING & ENGINEERING, INC.

Dee J. Burrie, P.E.
Chief Engineer

Enclosures: Geotechnical Engineering Report

Baer Testing & Engineering, Inc.

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: general@baertesting.com

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FIGURES

Figure 1 – Site Location Plan
Figure 2 – Site Layout
Figure 3 – Exploration Plan

APPENDICIES

Appendix A – Test Pit Logs
Appendix B – Laboratory Test Results

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Baer Testing & Engineering, Inc.

1.0 INTRODUCTION

Baer Testing & Engineering, Inc. (BAER) is pleased to present the results of our geotechnical engineering study for the proposed Spencer Estates Phase 4 residential development in Franklin County, Washington. This geotechnical engineering study provides subsurface information to support site grading, drainage, utility design and construction, and recommendations for foundation design and construction and paved roadways. Our scope of work includes:

- observing 23 test pit excavations and field soil sampling;
- conducting laboratory testing to determine soil properties;
- performing engineering analyses; and
- preparing this report.

This report provides results of our field observations, engineering analysis, and laboratory test results. It also provides recommendations for site grading, drainage, paving, underground utility installation, foundation design and construction, and IBC seismic design criteria.

2.0 PROJECT DESCRIPTION AND PROPOSED DEVELOPMENT

The proposed residential development is located along the east bank of the Columbia River, northwest of Pasco, Washington. **(Figure 1 – Site Location Map)**. The property is primarily in the SW4 of S1, T9N, R28E, WM in Franklin County, Washington. Approximate mid-site coordinates are 46°17'15.3"N Latitude; 119°15'31.4"W Longitude.

The approximately 37.5-acre site is adjacent to the Columbia River and north of Burns Road, in a transitioning area northwest of Pasco. The relatively level parcel is currently in agricultural production and typically mantled with grassy vegetation.

The development will include 55 approximately 0.5-acre lots **(Figure 2 - Site Layout)**. Water for domestic use and fire suppression will be provided by connections to the City of Pasco municipal water system. Stormwater will be collected and infiltrated in roadside swales. Raised catch basins connected to infiltration trenches will be provided at swale low points for emergency overflow should the swales be overwhelmed. Proposed residences will be a single- or multi-story, wood-frame structures. The development will also include paved streets and access routes and underground water, power, and communications utilities.

3.0 FIELD EXPLORATIONS

The exploration program consisted of excavating twenty-three test pits designated TP-1 through TP-23 on the Exploration Plan **(Figure 3 – Exploration Plan)**. Rotschy Inc. (Rotschy) excavated the test pits on April 28, 2021 using a large excavator equipped with a 48-inch bucket. The Benton-Franklin Health District also witnessed the test pit excavations for future on-site septic suitability.

A BAER representative estimated the soil in situ strength by observing the relative excavation difficulty. Our representative observed the test pits, collected representative soil samples, and prepared test pit logs.

The subsurface conditions are known only at the test pit locations on the date explored and should be considered approximate. Actual subsurface conditions may vary between excavation locations. The test pit locations are presented in Figure 3 and the test pit logs are presented in Appendix A. Our

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representative classified the soil in the field and transported the soil samples to the laboratory for further examination and testing.

4.0 LABORATORY TESTING

BAER performed the following laboratory tests on selected soil samples from our explorations.

- Moisture Content (American Society for Testing and Materials (ASTM) Designation: D 2216) for material characterization and soil index properties;
- Particle Distribution (ASTM Designation: D 422 and ASTM Designation: D 1140) for material characterization and soil index properties.

Copies of the laboratory test reports are enclosed in Appendix B.

5.0 SUBSURFACE CONDITIONS

The following discussion summarizes the subsurface conditions encountered during the test pit explorations. Please refer to the enclosed test pit logs (Appendix A) for more detailed information regarding subsurface conditions.

5.1 Regional Geologic Setting

The *Geologic Map of Richland 1:100,000 Quadrangle, Washington*; Washington Division of Geology and Earth Resources, Open File Report 94-8 (1994), shows near-surface geology in the site vicinity is mapped as Q_{fg4} – Youngest outburst flood deposits. Q_{fg4} consists of flood deposits ranging from sand to boulders, typically composed of basalt and bedded with volcanic ash. In our opinion, the conditions encountered in the test pit excavations are consistent with the mapped geology.

5.2 Soils

The subsurface profile generally consisted of ***Poorly Graded Sand with silt (SP)*** and ***Poorly Graded Gravel with Sand and Silt (SP-GM)*** over ***Poorly Graded Gravel with Sand (GP)***. The gravel typically consisted of subrounded to rounded gravel, cobbles, and boulders with maximum diameter 22 inches. The gravel extended to the test pit termination depths approximately 8 to 12.5 feet below the existing ground surface (bgs).

Test pits 1 through 4, TP-6 through TP-9, and TP-18 typically encountered 2 to 3 feet of dense, moist, ***Poorly Graded Sandy with Silt (SP-SM)*** with occasional gravels over dense, ***Poorly Graded Gravel with Sand (GP)***. Test pits TP-10, TP-12 through TP-17, and TP-19 through TP-23 encountered 1 to 2 feet of dense, dry to moist ***Poorly Graded Gravel with Silt and Sand (GP-GM)***, overlying ***Poorly Graded Gravel with Sand (GP)*** to test pit termination depths.

5.3 Groundwater

Groundwater was not encountered during test pit excavation, but the gravels at the bottom of TP-11 were visibly moist to wet. A slight mottled rust-staining was also found near the bottom of TP-11, which suggests the highest elevation of groundwater. Groundwater in this area is strongly influenced by the adjacent Columbia River. Fluctuations in groundwater are variable and may depend on several factors. Variations and patterns in groundwater elevation can be determined by periodically monitoring the groundwater depth over a full year or multiple years. Rotschy installed temporary piezometers in TP-1, TP-11, and TP-13 at the termination depths 12 to 13 feet bgs.

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6.0 CONCLUSIONS AND RECOMMENDATIONS

6.1 General

The site is relatively level, sloping slightly from east to west along the western third. Only minor grading is anticipated to accommodate construction, following the removal of existing grass and trees.

6.1.1 Test Pit Backfill

Rotschy used the excavator to backfill each test pit upon completion. The operator compacted the excavated material into the test pits using the excavator bucket. The test pits should be over-excavated and backfilled with compacted structural fill during site grading in accordance with the Section "6.2 Earthwork" below.

6.2 Earthwork

Any existing vegetation and deleterious debris should be removed from the building and pavement areas. Stripped soil with organic materials may be stockpiled for use in future landscape areas but may not be used as structural fill.

6.2.1 Subgrade Preparation

Soils at the site were typically moist to dry at the time of our explorations. Depending on conditions at the time of construction, the soils may require moisture conditioning, either by adding moisture or drying, prior to being compacted.

The upper 12 inches of exposed subgrade should be moisture conditioned to within 2 percent of optimum and compacted to a minimum 92 percent of the maximum laboratory dry density as determined by the ASTM Designation: D 1557 – *Standard Test Methods for Laboratory Compaction Characteristics of Soil Using Modified Effort.* Where possible, the subgrade should be proof rolled using a loaded water truck or dump truck to identify loose or unstable areas. The geotechnical engineer should observe the proof rolling activities to determine if the intent of this section is met and to aid in determining areas with soft or unsuitable soils.

6.2.2 Material Reuse

The onsite sand and gravel soils, free of organics and debris, and with material larger than 3-inch diameter removed, may be used for general fill and backfill. If imported fill is needed, we recommend a well-graded, 2-inch minus, pit-run sand and gravel with less than 5 percent fines. All fill should be placed in accordance with Section "6.2.3 Fill Placement and Compaction".

6.2.3 Fill Placement and Compaction

Fill and backfill should be moisture conditioned to within 2 percent of optimum, placed in maximum 8-inch loose lifts, and compacted to a minimum 95 percent of ASTM D 1557.

Structural fill under footings and concrete slabs should consist of 5/8-inch minus crushed stone top course (CSTC). Structural fill should be compacted to 95 percent of ASTM D 1557.

6.2.4 Slopes

Occupational Safety and Health Administration (OSHA) Type C soil best describes the onsite silty sand with gravel. Type C soils may have maximum temporary construction slopes of 1.5 Horizontal to 1 Vertical (1.5H:1V). Permanent cut or fill slopes should be no steeper than 2H:1V and

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must be protected from both wind and water erosion. Erosion protection may consist of vegetative cover or a minimum 3 inches of coarse concrete aggregate conforming to the requirements of WSDOT Specification 9-03.1(4) c, "Concrete Aggregate AASHTO Grading No. 57."

6.2.5 Utility Trenching

Utility trenching should be accomplished in accordance with American Public Works Association (APWA) Standard Specifications. Based on our explorations, we anticipate excavations may be made using standard excavation equipment. Trenches below groundwater will cave when excavated. Excavations in granular soil, such as sand, gravel, cobbles, and boulders, will likely require support or must be sloped at a minimum 1.5H:1V or flatter. Additionally, trenches penetrating saturated gravel are more likely to cave and will require support or sidewall sloping. Utility piping should be bedded as recommended in the APWA specifications. Utility trenches should be backfilled using structural fill compacted as specified in section "6.2.3 Fill Placement and Compaction". Enough backfill should be placed over the utility before compacting with heavy compactors to prevent damage. Onsite gravel with sand materials with gravels smaller than 3 inches may be used for utility trench backfill.

6.2.6 Wet Weather Construction

The site soils are typically granular; however, the stability of the exposed soils may deteriorate due to change in moisture content. If construction occurs during wet weather, we recommend:

- Fill material consist of clean, granular soil with less than 5 percent fines passing the #200 sieve. Fines should be non-plastic.
- The ground surface in the construction area should be sloped to drain and sealed to reduce water infiltration and to prevent water ponding.
- Work areas and stockpiles should be covered with plastic. Geotextile silt fences, straw bales, straw wattles, and/or other measures should be used as needed to control soil erosion.

6.2.7 Infiltration Rate

We estimated infiltration rates based on particle size distribution data from the laboratory testing. We assumed the silty sand soil encountered in the upper layer will determine the infiltration rates for shallow surface drainage swales. The US Department of Agriculture Natural Resources Conservation Service estimates infiltration rates based on texture. Our visual classifications and laboratory test results for collected site samples indicate the USDA Soil Texture Class for the poorly graded silty sand layer is loamy sand.

Estimated infiltration rates for loamy sand soils are 2 to 6 inches per hour. We recommend using 3 inches per hour for design purposes if infiltration occurs in this layer. If the drainage swales penetrate the underlying gravel, significantly higher infiltration rates may be anticipated.

These rates do not include a safety factor. The system designer should incorporate an appropriate factor of safety against slowing rates over time due to biological and sediment clogging.

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7.0 FOUNDATION DESIGN RECOMMENDATIONS

7.1 Footings

Typical residential structures may be supported on conventional spread or continuous footings bearing on the native sandy silt or gravel. Exterior footings should be embedded a minimum 24 inches below adjacent grades for bearing considerations and frost protection. To avoid differential settlement, it is important all footings bear on similar soils. If footing excavations encounter both poorly graded sand and poorly graded gravel at footing depth, we recommend over-excavating the footings and installing 12 inches of compacted ⅝-inch minus CSTC. The CSTC should be compacted to 95 percent of ASTM D 1557. Prior to placing CSTC or footing concrete, footing subgrade should be moisture conditioned and compacted to 95% of ASTM D 1557.

We recommend constructing footings a minimum 2 feet wide for spread footings and minimum 16 inches wide for continuous footing. Footings constructed in accordance with these recommendations can be designed with an allowable bearing pressure of 2,000 pounds per square foot (psf). The allowable bearing pressure may be increased by one-third for short-term transient loading conditions (i.e., seismic and/or wind loads).

We anticipate settlement will be the limiting factor for foundation design. Foundation settlement estimates are based on the soil profile and soil density encountered at the site. Foundations designed as outlined above should experience less than ½-inch of settlement. We anticipate differential settlement will be less than half of total settlements between adjacent footings or across approximately 20 feet of continuous footings. Settlement should occur rapidly as loads are applied.

Lateral forces may be resisted using a combination of friction and passive earth pressure against the buried portions of the structure. For design, a coefficient of friction of 0.35 may be assumed along the interface between the footing base and the compacted silt. If CSTC is used below the footings, a 0.45 coefficient of friction may be used. Passive earth pressure from the sand backfill may be calculated using an equivalent fluid weight of 250 psf per foot of embedment depth. The recommended coefficient of friction and passive earth pressure values do not include a safety factor.

7.2 Concrete Slabs-on-Grade

The exposed subgrade in areas to receive concrete slabs-on-grade should be moisture conditioned and compacted to a minimum of 95 percent of the maximum laboratory dry density as determined by ASTM D 1557.

After compacting the subgrade, we recommend placing a minimum 6-inch layer of 5/8-inch CSTC under the concrete slab. The CSTC should be compacted to a firm, non-yielding condition. The geotechnical engineer should observe subgrade preparation prior to gravel placement.

7.3 Retaining Walls

Retaining wall foundations should be designed and constructed in accordance with the footing recommendations. All retaining walls should be designed with a minimum 12-inch-wide drainage zone directly behind the wall. The on-site silty sand soil or gravel may be used as backfill behind the drainage zone. The drainage zone should be separated from the backfill using a separation geotextile. Backfill should be placed in maximum 8-inch loose lifts and compacted to 95 percent of ASTM D 1557.

If retaining walls are constructed as recommended above, the values in the following table may be used for design.

Table 7.3-1 Retaining Wall Design

Design Parameter	Value, pcf/ft. depth
Active Earth Pressure (unrestrained walls)	35
At-rest Earth Pressure (restrained walls)	55

7.4 Pavement Sections

We anticipate traffic will consist of automobiles and light trucks, with occasional heavier garbage trucks and school buses. Based on the anticipated traffic, we recommend using the following pavement section.

Table 7.4-1 Recommended Pavement Section

Material Layer	Layer Thickness, inches	Compaction Standard
Asphaltic Concrete Pavement (HMACP)	3	91 percent of Maximum Theoretical Specific Gravity (Rice's)
Crushed Stone Top Course (CSTC) WSDOT 5/8-inch minus Top Course	6	95 percent of ASTM D 1557
Compacted Subgrade	12	95 percent of ASTM D 1557

The upper 12 inches of the pavement subgrade should be moisture conditioned and compacted to 95 percent of ASTM D 1557. The geotechnical engineer should observe the subgrade prior to base course placement. Soft or unstable areas should be stabilized or over-excavated and replaced with compacted structural fill prior to paving.

7.5 Seismic Design

Structures should be designed in accordance with the 2015 International Building Code (IBC). The Site Class is based on the average conditions present within 100 feet of the ground surface. The Site Classification is based on shear wave velocity. To establish a higher site class, additional explorations are required, including deep borings and geophysical measurements. Based on the available information, we recommend using the default classification Site Class D (Stiff Soil). Design values determined for the center coordinates of the site using the United States Geological Survey (USGS) Earthquake Ground Motion Parameters utility are summarized in Table 7.4-1.

Table 7.5-1 Recommended Earthquake Ground Motion Parameters (2015 IBC)

Parameter	Value
Location (Latitude, Longitude), degrees	46.287582; -119.258719
Mapped Spectral Acceleration Values (MCE, Site Class D):	
Short Period, S_s	0.405 g
1.0 Sec. Period, S_1	0.156 g
Soil Factors for Site Class D:	
F_a	1.476 g
F_v	2.174 g
S_{DS}	0.398 g
S_{D1}	0.227 g

7.5.1 Liquefaction

Soil liquefaction occurs when saturated soil deposits temporally lose strength and behave as a liquid in response to earthquake shaking. Liquefaction typically occurs in loose, granular soils located in the upper 50 feet and below the water table. The onsite poorly graded gravel is dense, but the water table is approximately 20 feet below the site surface. In our opinion, the liquefaction potential at this site is low. Additional explorations and analysis are required to quantify anticipated settlements due to potential liquefaction.

7.5.2 Fault Rupture Potential

Based on our review of available geologic literature, two hidden, northwest - southeast trending hidden thrust faults generally follow the Yakima River and base of Badger Mountain, approximately 2.5 and 4 miles southwest of the site. We are not aware of any demonstrated movement along these faults in the last 10,000 years. Based on the available geologic literature, no known faults are identified near the project vicinity in Franklin County. We did not observe any evidence of surface rupture or recent faulting during our field observation. Therefore, we conclude the site fault rupture potential is low.

7.5.3 Slope stability

The site is in a relatively level area. In our opinion, the potential for slope failure impacting the proposed project site is low if County required setbacks from property lines are followed.

8.0 ADDITIONAL SERVICES

BAER is available to provide further geotechnical consultation during the project design phase. We should review the final design and specifications to verify earthwork and foundation recommendations have been properly interpreted and incorporated into the project design and construction specifications. We are also available to provide geotechnical engineering and special inspection services during construction. Observation during construction provides the geotechnical engineer the opportunity to assist in making engineering decisions if variations in subsurface conditions become apparent. If BAER is not retained to provide construction phase services, we cannot be responsible for soil-related construction errors or omissions.

: general@baertesting.com

Construction observation and special inspection services are not part of this geotechnical engineering study scope of work. We will be pleased to provide a separate proposal for the construction phase services, if desired.

9.0 UNCERTAINTIES AND LIMITATIONS

This report was prepared for use the exclusive use of Big Sky Developers, LLC, and the design team for the proposed Spencer Estates Phase 4 residential development in Franklin County, Washington. This report presents the data from observation and field testing and is based on subsurface conditions at the specific locations and depths indicated. No other representation is made. This report should be made available to potential contractors for information on factual data only. Conclusions and interpretations presented in this report should not be construed as a guarantee or warranty of the subsurface conditions. If changes are made to the project components or layout, additional geotechnical data and analyses may be necessary.

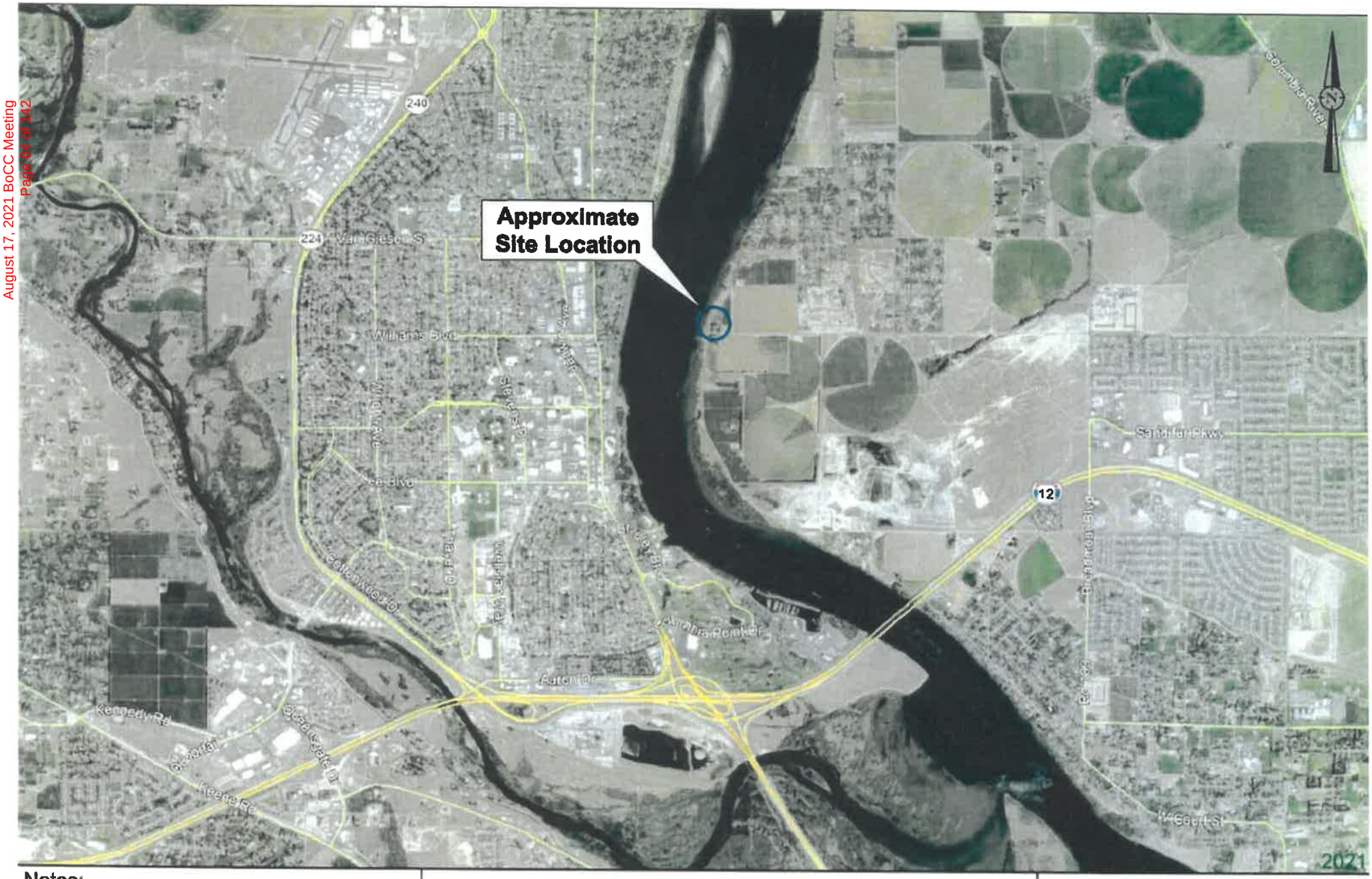
Within the limitations of scope, schedule, and budget, BAER attempted to execute these services in accordance with generally accepted professional principles and practices in the field of geotechnical engineering at the time the report was prepared. No warranty, expressed or implied, is made. The scope of our services did not include environmental screening of soil samples retrieved from the explorations completed for this project. Further, we did not complete environmental assessments or evaluations regarding the presence or absence of wetlands or hazardous or toxic materials in the soil, rock, surface water, or air in the project area.

We appreciate the opportunity to be of service. If you have questions or comments, please contact our office.

Sincerely,
BAER TESTING & ENGINEERING, INC.

Dee J. Burrie, P.E.
Chief Engineer

: general@baertesting.com



Notes:
Location Map developed using Images by Google Earth Pro.

0 ½ 2
Approximate Scale in Miles

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Franklin County, Washington

Site Location Map

21-102 | FIG. 1

Notes:
Location Map developed using Images Provided by AQTERA Engineering.

0 200 400
Approximate Scale in Feet

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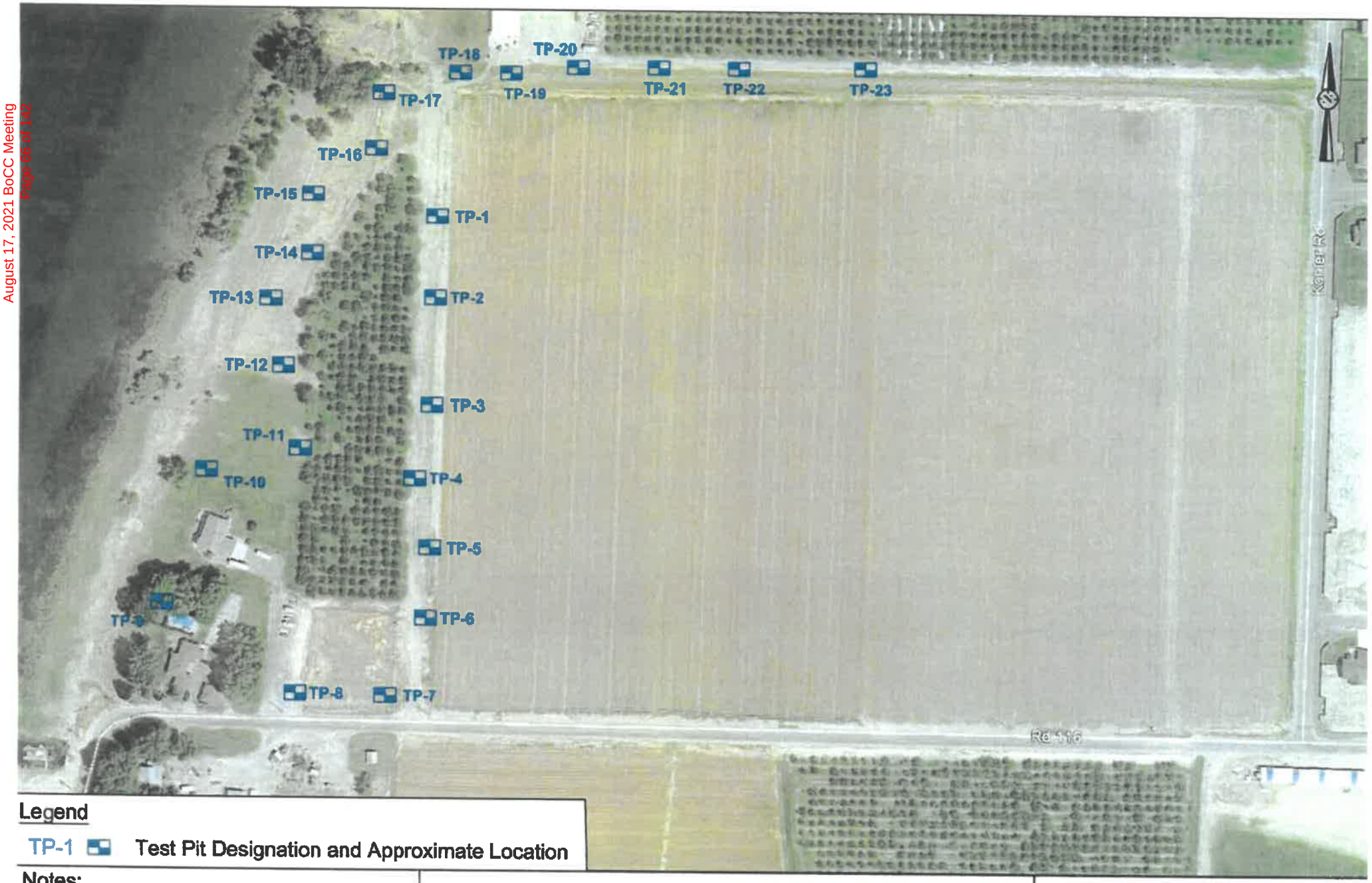
Franklin County, Washington

Site Layout

21-102 | FIG. 2



Legend

TP-1 Test Pit Designation and Approximate Location

Notes:
Location Map developed using Images Provided by Google Earth Pro.

0 250 500
Approximate Scale in Feet

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Exploration Map

21-102 | FIG. 3

APPENDIX A
TEST PIT LOGS

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 51

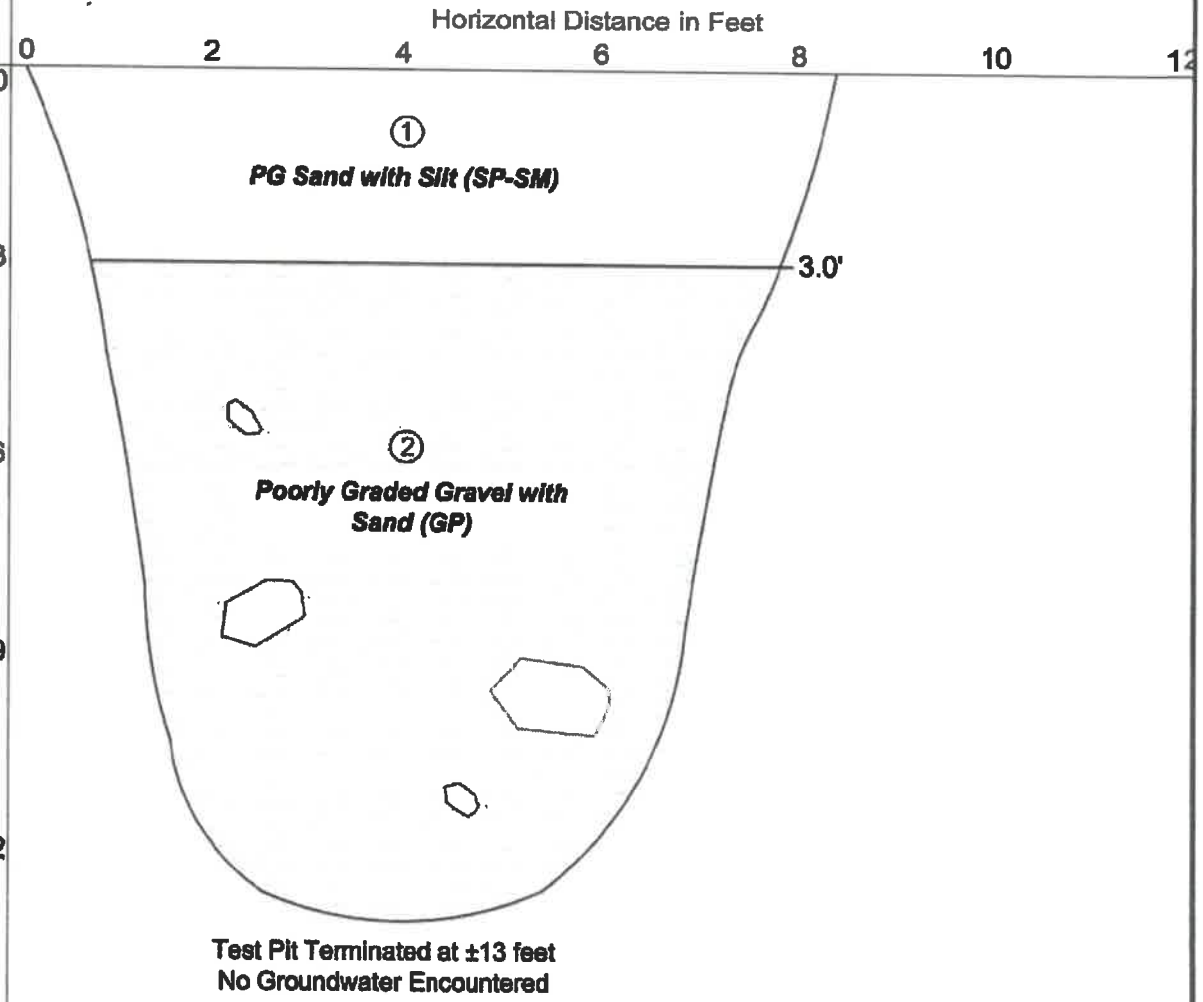
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-1

Logged By: BH GPS Coordinates: N 46.288406 E -119.259573

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Edge of Roadway				
① 0-3.0' Medium dense, brown ***PG Sand with Silt (SP-SM)***; Moist, few rounded ot subrounded gravel, maximum diam. approximately 2 inches; fine to medium sand; nonplastic silt; rootsencountered throughout.	None Observed			0
② 3.0-13.0 Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Moist; subrounded to rounded gravel, cobbles, and boulders, maximum diam. approximately 18 inches; medium to coarse sand; trace nonplastic silt.				3
				6
				9
				12
Test Pit Terminated at ±13 feet No Groundwater Encountered **Piezometer 1 Installed**				15
				18

Sketch of West Pit Side Surface Elevation:



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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 50

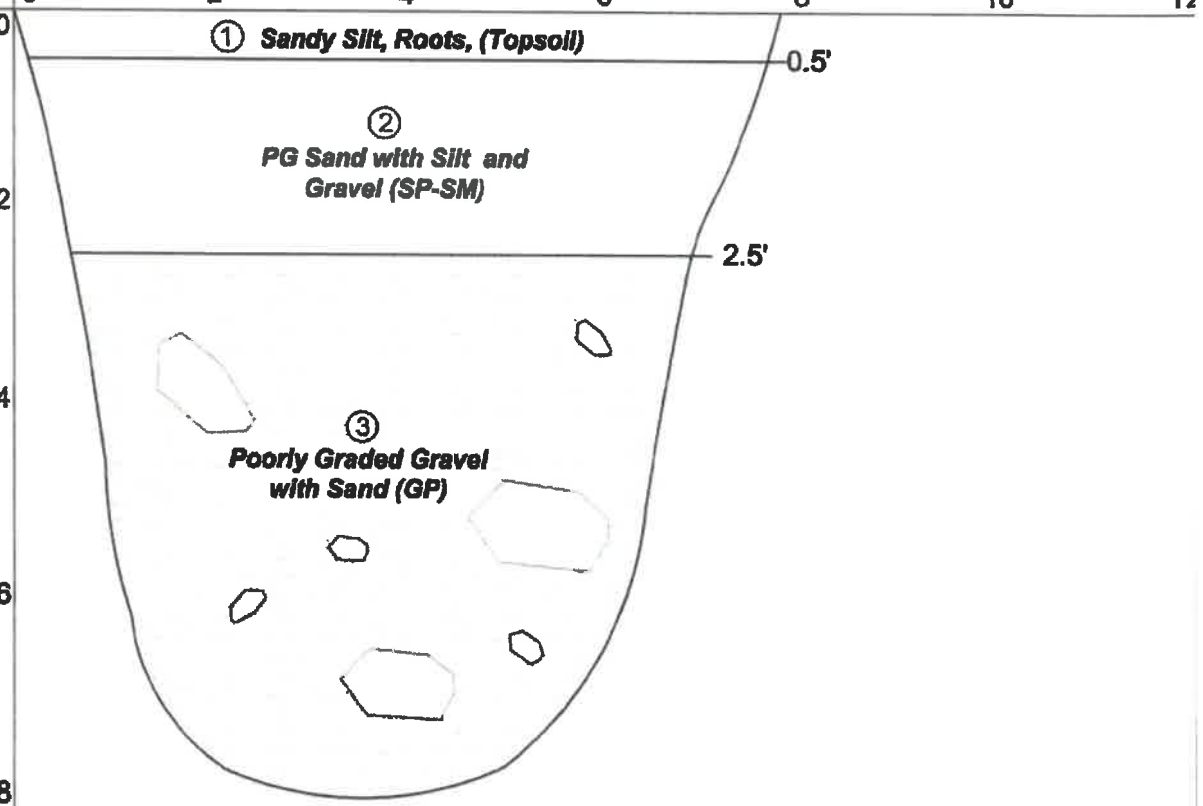
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-2

Logged By: BH GPS Coordinates: N 46.287927 E -119.259619

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Dirt, Edge of Road				
① 0-0.5' Silty Sand, Roots, (Topsoil)	None Observed			0
② 0.5-2.5' Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded to subrounded gravel, maximum diam. approximately 2 inches; fine to medium sand; nonplastic silt; weakly cemented.				2
③ 2.5-8.0' Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel, cobbles, and boulders, maximum diam. approximately 17 inches; medium to coarse sand; trace nonplastic silt.				4, 6, 8
Test Pit Terminated at ±8 feet No Groundwater Encountered				10, 12

Sketch of West Pit Side Surface Elevation:



Test Pit Terminated at ±8 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 41

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-3

Logged By: BH GPS Coordinates: N 46.287452 E -119.259632

SOIL DESCRIPTION

Surface Description:
Dirt, Edge of Road

① 0-1.5'
Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel, maximum diam. approximately 2 inches; fine to medium sand; nonplastic silt; roots throughout; weakly cemented.

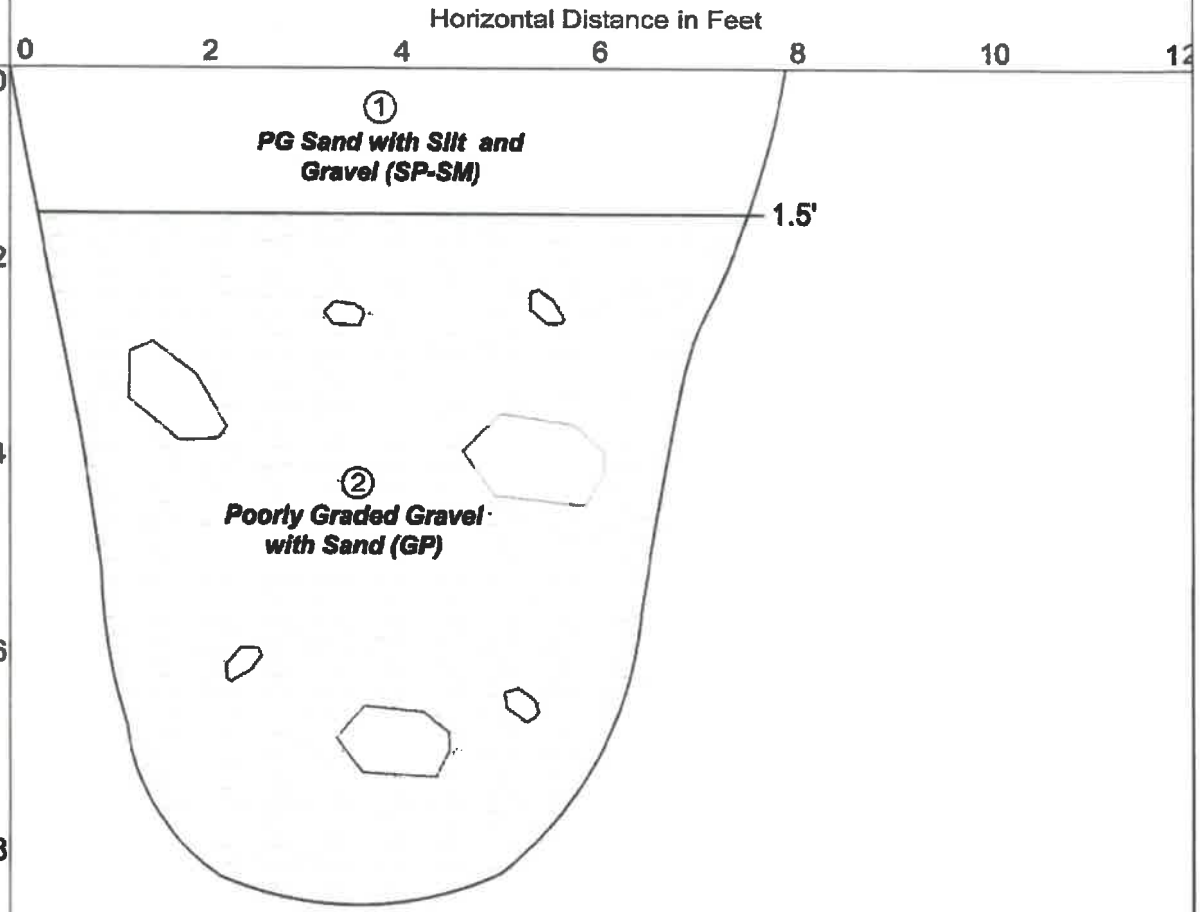
② 1.5-8.5'
Dense, light brown, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel, cobbles, and boulders, maximum diam. approximately 16 inches; medium to coarse sand; trace nonplastic silt.

*decreased roots to approximately 5 feet

Test Pit Terminated at ±8.5 feet
No Groundwater Encountered

Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
None Observed		S-1	0, 2, 4, 6, 8, 10, 12

Sketch of West Pit Side Surface Elevation:



Test Pit Terminated at ±8.5 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 40/41

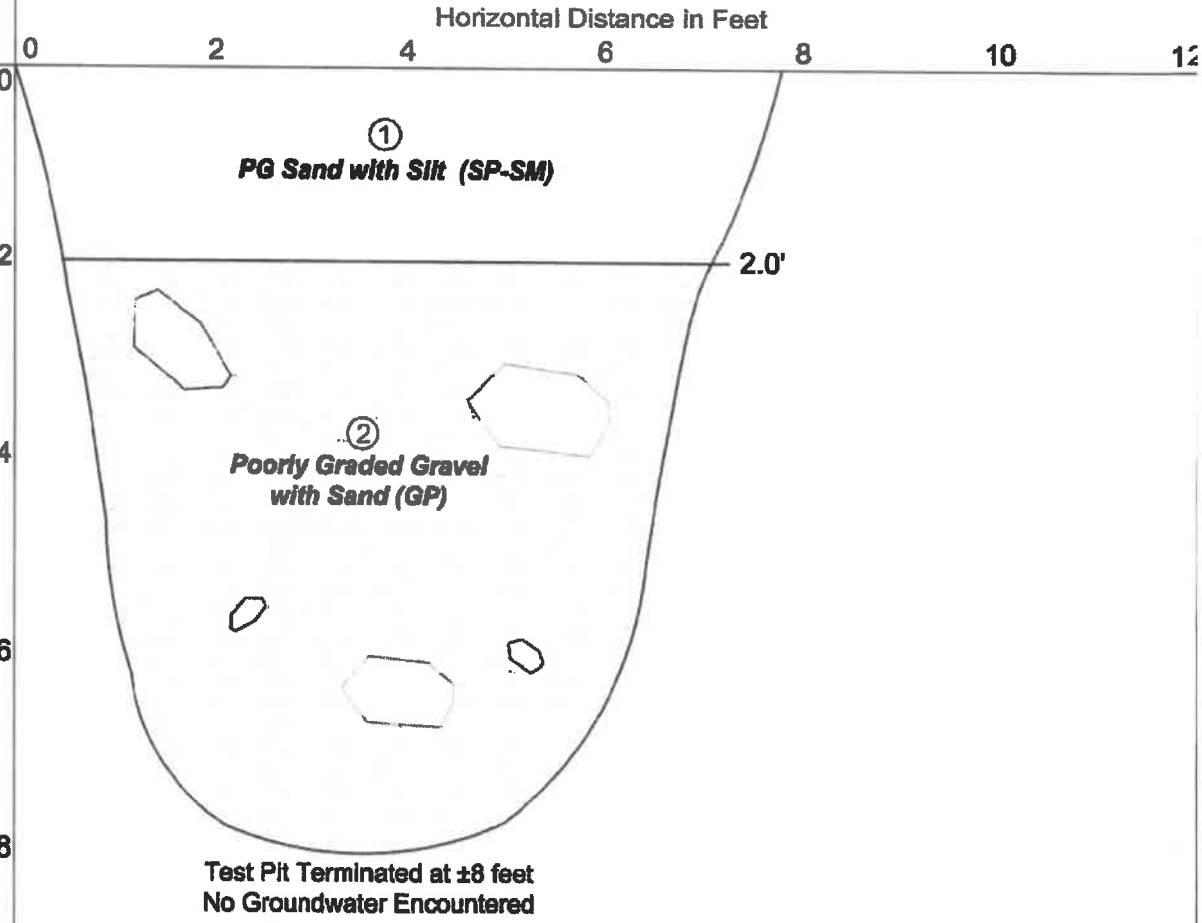
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-4

Logged By: BH GPS Coordinates: N 46.287038 E -119.259605

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Dirt, Edge of Road				
① 0-2.0' Medium dense, brown ***PG Sand with Silt (SP-SM)***; Moist, fine to medium sand; nonplastic silt; roots throughout; weakly to moderately cemented.	None Observed			0
② 2.0-8.0' Dense, light brown, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel, cobbles, and boulders, maximum diam. approximately 15 inches; medium to coarse sand; trace nonplastic silt.				2
				4
				6
Test Pit Terminated at ±8 feet No Groundwater Encountered				8
				10
				12

Sketch of East Pit Side Surface Elevation:



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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 38

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-5

Logged By: BH GPS Coordinates: N 46.286695 E -119.259519

SOIL DESCRIPTION

Surface Description:
Dirt, Edge of Road

Ground Water: None Observed

Blow Counts ASTM STP399

Samples: S-1

Depth, Ft.

① 0-4.0'
Medium dense, brown ***PG Sand with Gravel (SP)***; Moist; little rounded ot subrounded gravel and cobbles, maximum diam. approximately 6 inches; fine to medium sand; trace nonplastic silt.

② 4.0-5.0'
Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Moist; subrounded to rounded gravel, cobbles, and boulders, maximum diam. approximately 16 inches; medium to coarse sand; trace nonplastic silt.

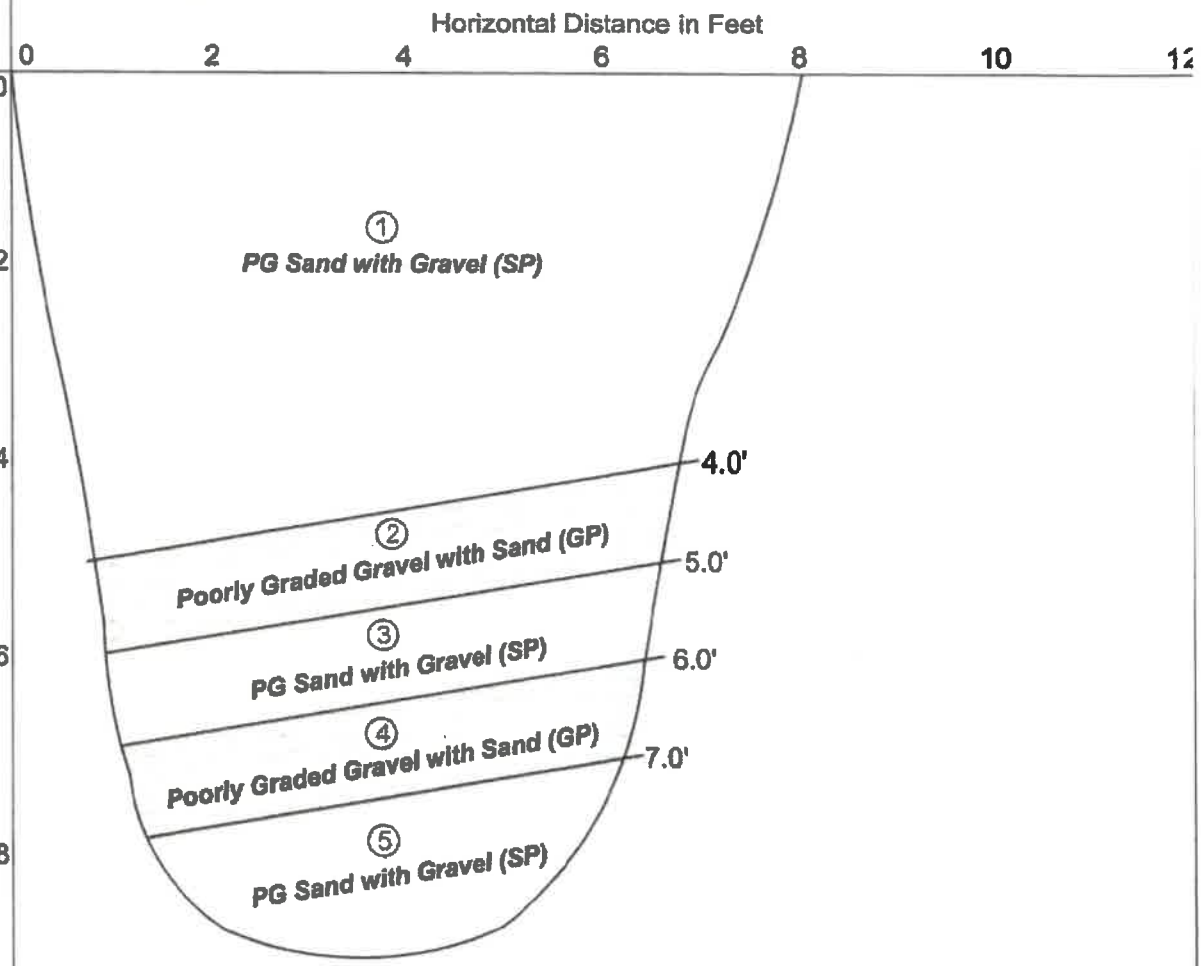
③ 5.0-6.0'
Medium dense, brown ***PG Sand with Gravel (SP)***; Moist; little rounded ot subrounded gravel and cobbles, maximum diam. approximately 6 inches; fine to medium sand; trace nonplastic silt.

④ 6.0-7.0'
Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Moist; subrounded to rounded gravel, cobbles, and boulders, maximum diam. approximately 16 inches; medium to coarse sand; trace nonplastic silt.

⑤ 7.0-9.0'
Medium dense, brown ***PG Sand with Gravel (SP)***; Moist; little rounded ot subrounded gravel and cobbles, maximum diam. approximately 6 inches; fine to medium sand; trace nonplastic silt.

Test Pit Terminated at ±9 feet
No Groundwater Encountered

Sketch of West Pit Side Surface Elevation:



Test Pit Terminated at ±9 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 2

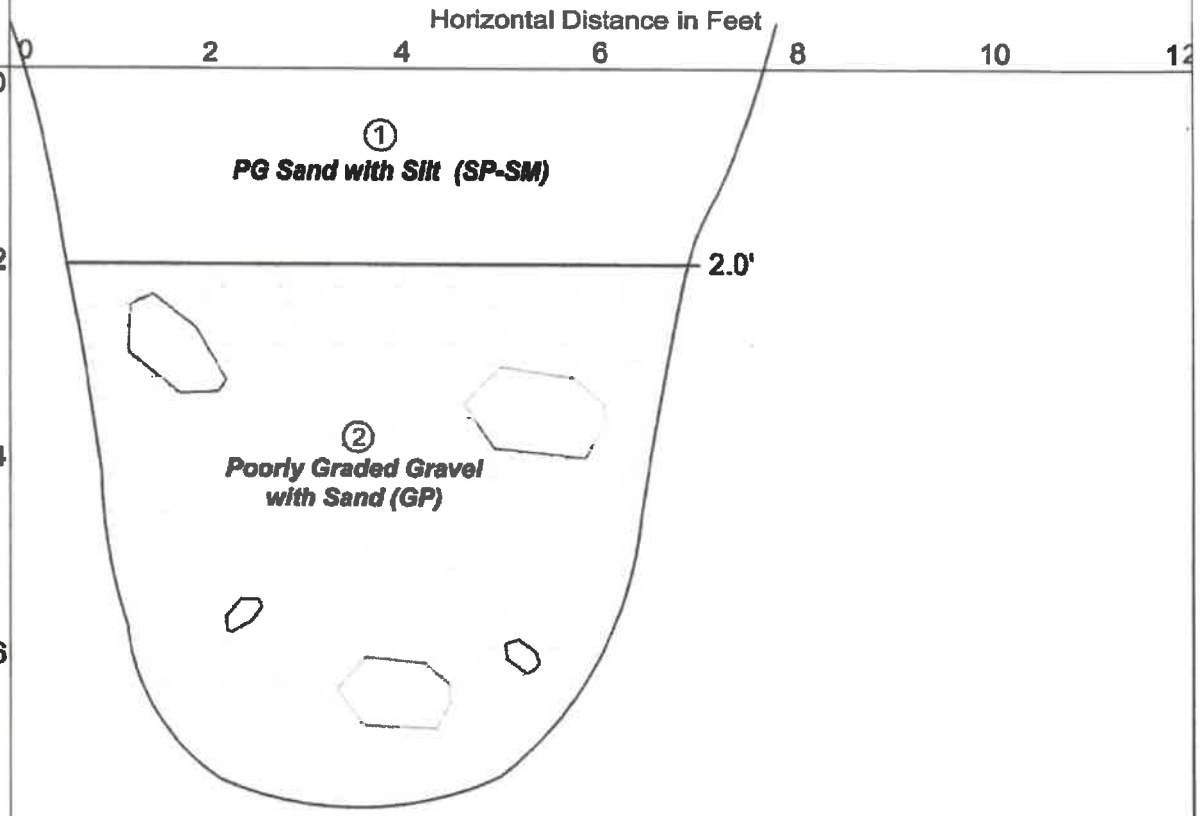
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-6

Logged By: BH GPS Coordinates: N 46.286347 E -119.259716

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Dirt, Edge of Road				
① 0-2.0' Medium dense, brown ***PG Sand with Silt (SP-SM)***; Moist, fine to medium sand; nonplastic silt; roots throughout; weakly to moderately cemented.	None Observed			0
② 2.0-7.5' Dense, brown/gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 7 inches; medium to coarse sand; trace nonplastic silt. **Some angular bedding**			S-1 ☒	2, 4, 6
Test Pit Terminated at ±7.5 feet No Groundwater Encountered				8, 10, 12

Sketch of East Pit Side Surface Elevation:



Test Pit Terminated at ±7.5 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 3

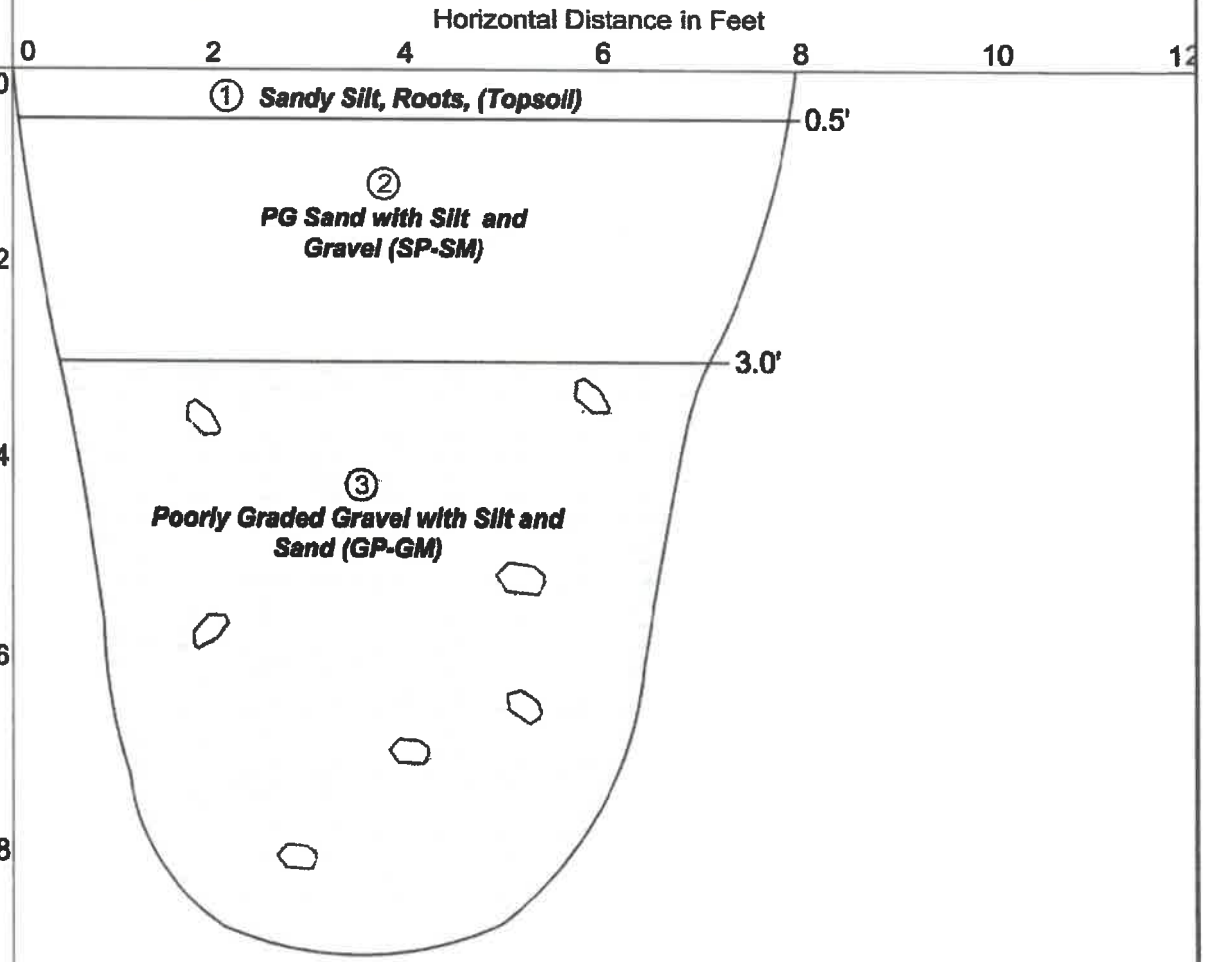
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-7

Logged By: BH GPS Coordinates: N 46.285889 E -119.260024

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Pasture Grasses				
① 0-0.5' Silty Sand, Roots, (Topsoil)	None Observed			0
② 0.5-3.0' Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel, maximum diam. approximately 2 inches; fine to medium sand; nonplastic silt; roots throughout.				2
③ 3.0-9.0' Dense, light brown, ***Poorly Graded Gravel with Silt and Sand (GP-GM)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 7 inches; medium to coarse sand; trace nonplastic silt.				4, 6, 8
Test Pit Terminated at ±9 feet No Groundwater Encountered				10, 12

Sketch of West Pit Side Surface Elevation:



Test Pit Terminated at ±9 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 4

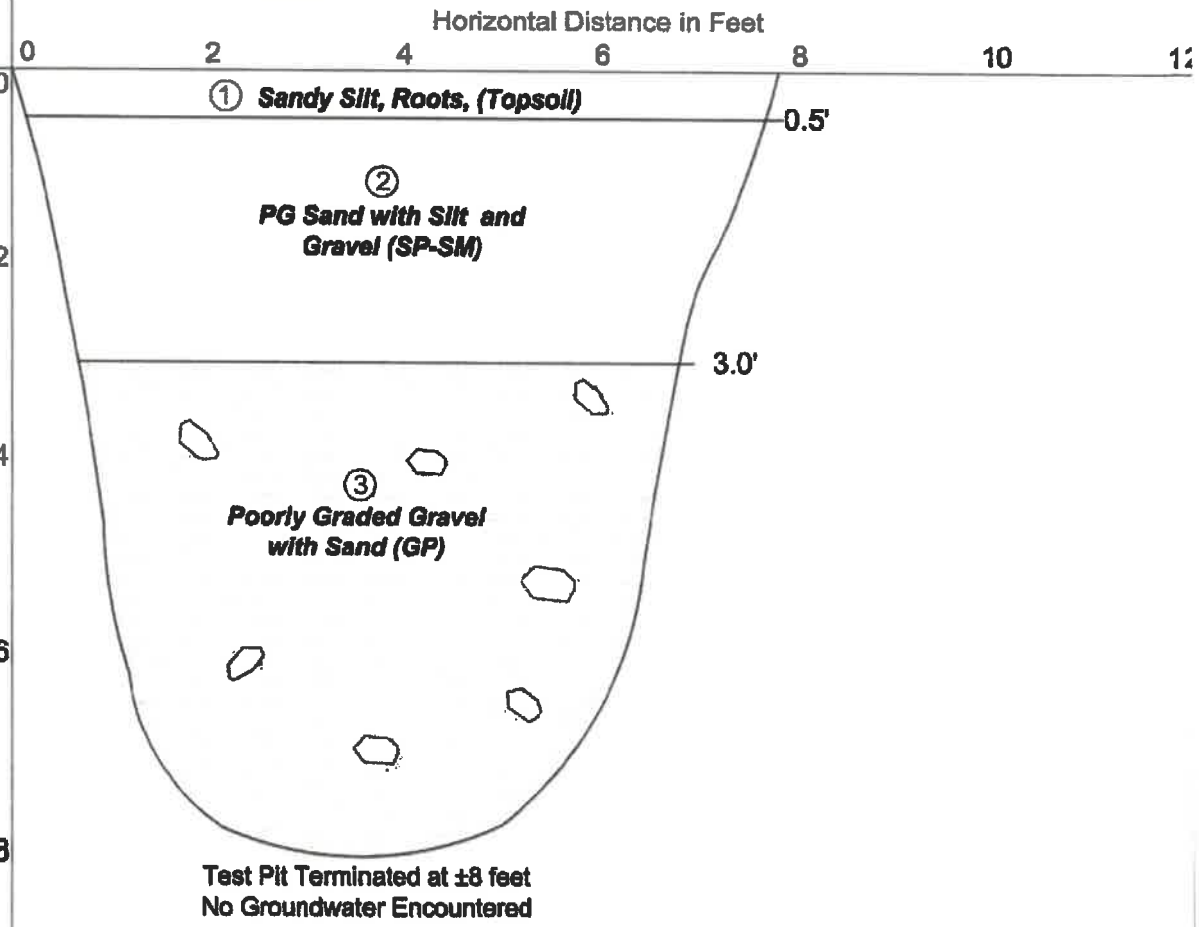
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-8

Logged By: BH GPS Coordinates: N 46.285909 E -119.260561

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Dirt Road				
① 0-0.5' Silty Sand, (Topsoil)	None Observed			0
② 0.5-3.0' Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded gravel, maximum diam. approximately 1 inch; fine to medium sand; nonplastic silt; weakly cemented.				2
③ 3.0-8.0' Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 8 inches; medium to coarse sand; trace nonplastic silt.				4, 6
Test Pit Terminated at ±8 feet No Groundwater Encountered				8, 10, 12

Sketch of West Pit Side Surface Elevation:



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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 6

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

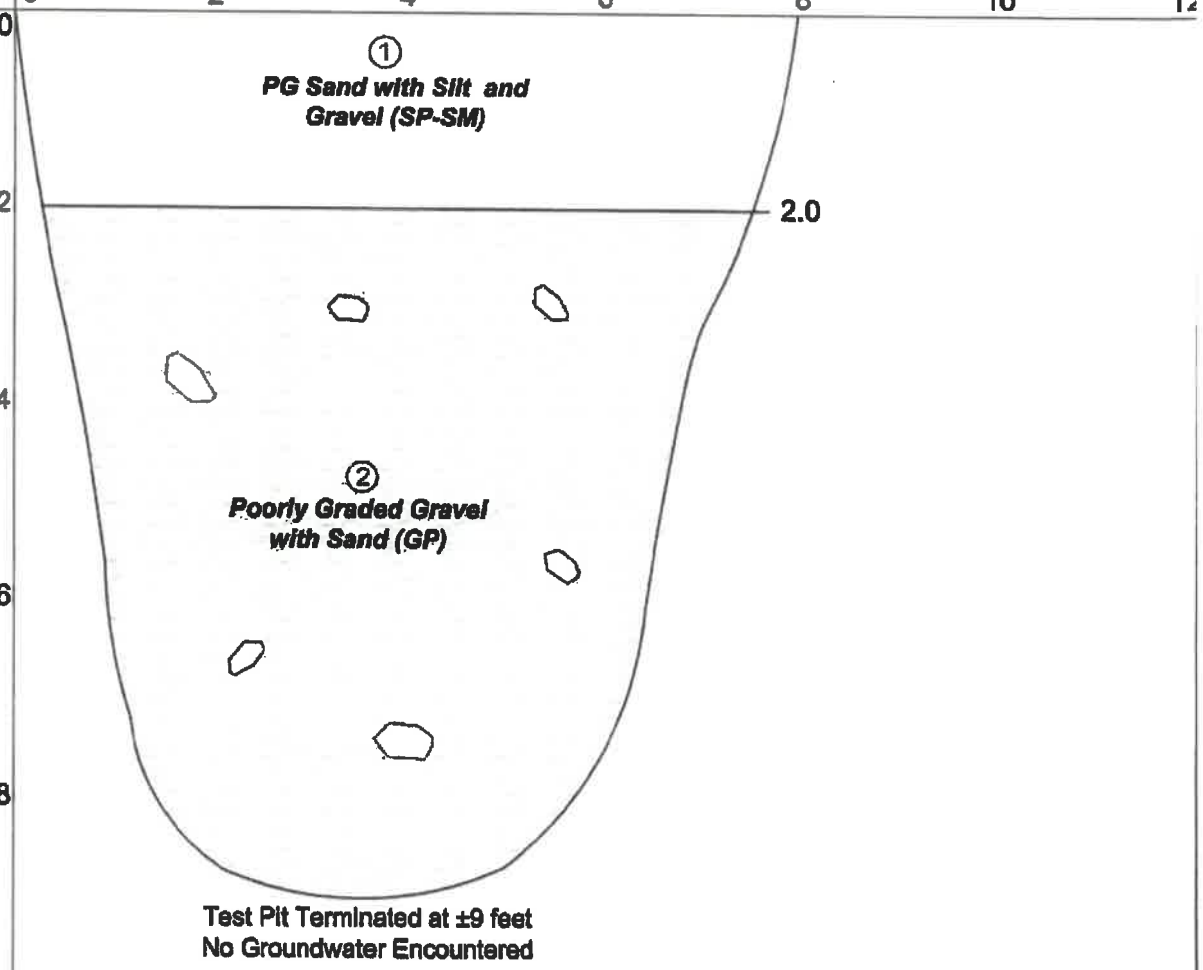
LOG OF Test Pit TP-9

Logged By: BH GPS Coordinates: N 46.286497 E -119.261796

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Grass/Lawn				
① 0-2.0' Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel, maximum diam. approximately 1 inch; fine to medium sand; nonplastic silt; roots throughout.	None Observed			0
② 2.0-9.0' Dense, brown, ***Poorly Graded Gravel with Sand (GP)***; Moist; subrounded to rounded gravel and cobbles, maximum diam. approximately 6 inches; medium to coarse sand; trace nonplastic silt.				2
				4
				6
				8
Test Pit Terminated at ±9 feet No Groundwater Encountered				10
				12

Sketch of West Pit Side Surface Elevation:

Horizontal Distance in Feet



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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 8

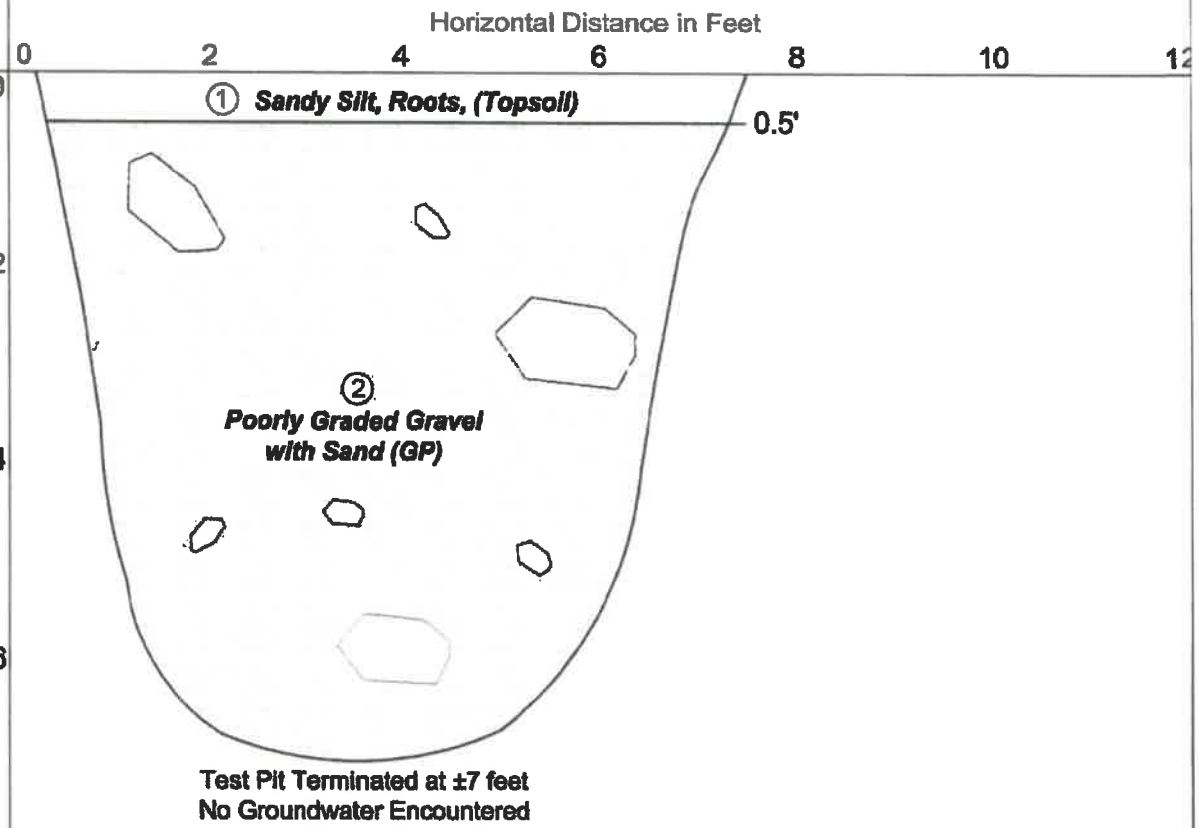
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-10

Logged By: BH GPS Coordinates: N 46.287149 E -119.261213

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Pasture Grasses				
① 0-0.5' Silty Sand, Roots, (Topsoil)	None Observed			0
② 0.5-7.0' Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel, cobbles, and boulders, maximum diam. approximately 14 inches; medium to coarse sand; trace nonplastic silt.				2, 4, 6
Test Pit Terminated at ±7 feet **No Groundwater Encountered**				8, 10, 12

Sketch of North Pit Side Surface Elevation:



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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 9

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-11

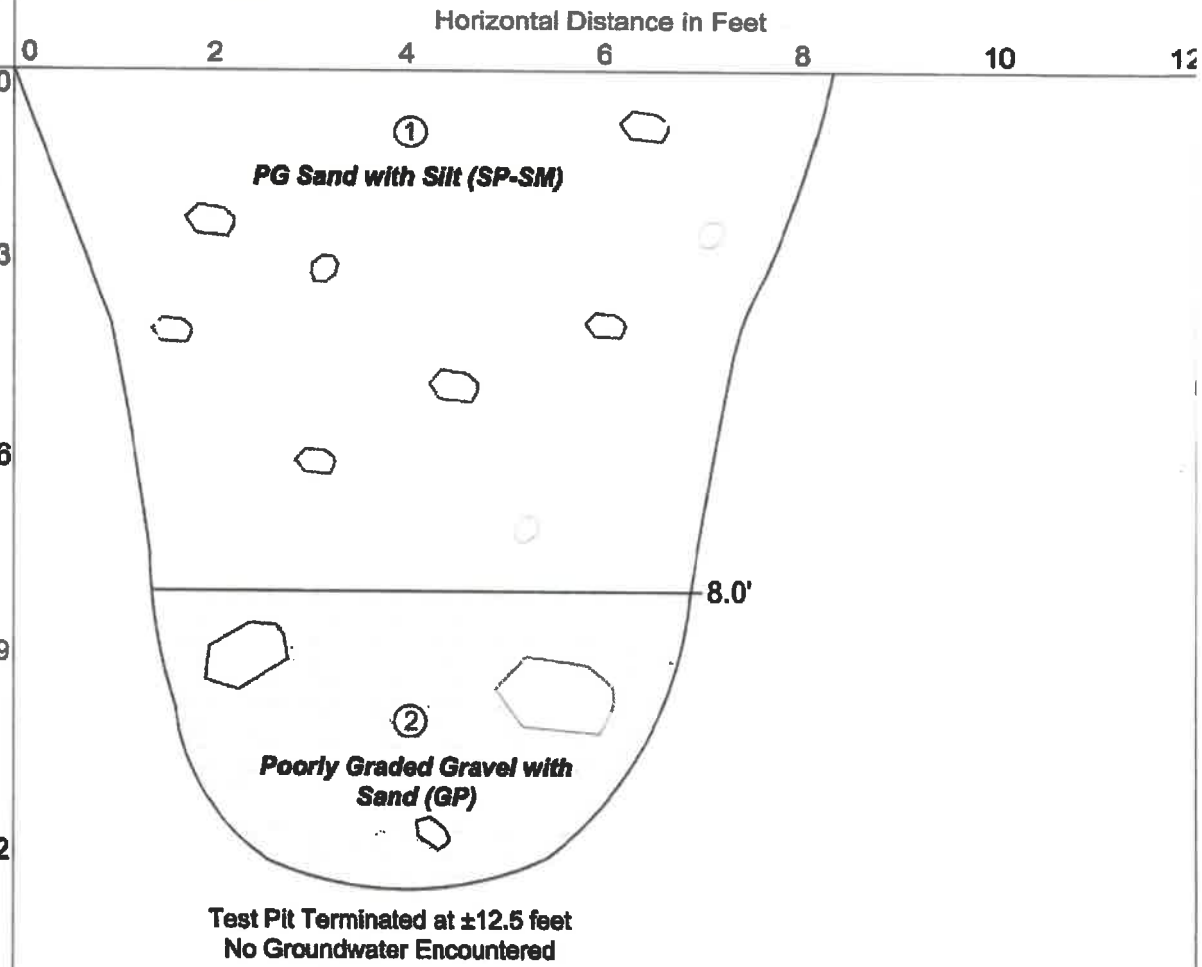
Logged By: BH GPS Coordinates: N 46.287087 E -119.260775

SOIL DESCRIPTION

Surface Description:
Pasture Grass

	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
① 0-8.0' Medium dense to dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, few rounded ot subrounded gravel and cobble, maximum diam. approximately a 5 inches; fine to medium sand; nonplastic silt.	None Observed		S-2 ☒	0
② 8.0-12.5 Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Moist; subrounded to rounded gravel, cobbles, and boulders, maximum diam. approximately 16 inches; medium to coarse sand; trace nonplastic silt; some caving.				9
Test Pit Terminated at ±12.5 feet No Groundwater Encountered ** However, gravels near the excavation bottom had increased moisture with some visible water. Also, rust color deposits on the gravel indicate the potential high-water elevation.** **Piezometer 3 Installed**				12
				15
				18

Sketch of East Pit Side Surface Elevation:



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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 10

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

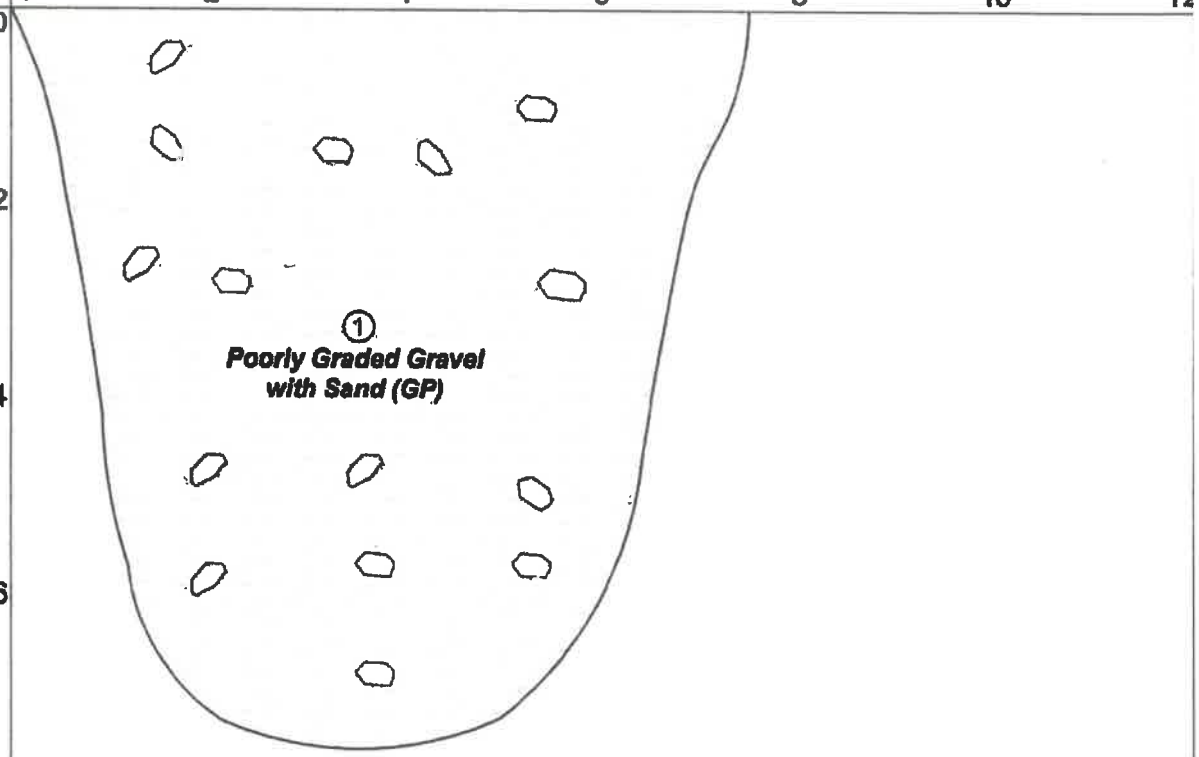
LOG OF Test Pit TP-12

Logged By: BH GPS Coordinates: N 46.287545 E -119.260761

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Pasture Grasses				
(1) 0-7.5' Dense, light brown, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 8 inches; medium to coarse sand; trace nonplastic silt.	None Observed			0
				2
				4
				6
Test Pit Terminated at ±7.5 feet No Groundwater Encountered				8
				10
				12

Sketch of North Pit Side Surface Elevation:

Horizontal Distance in Feet



Test Pit Terminated at ±7.5 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 11

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

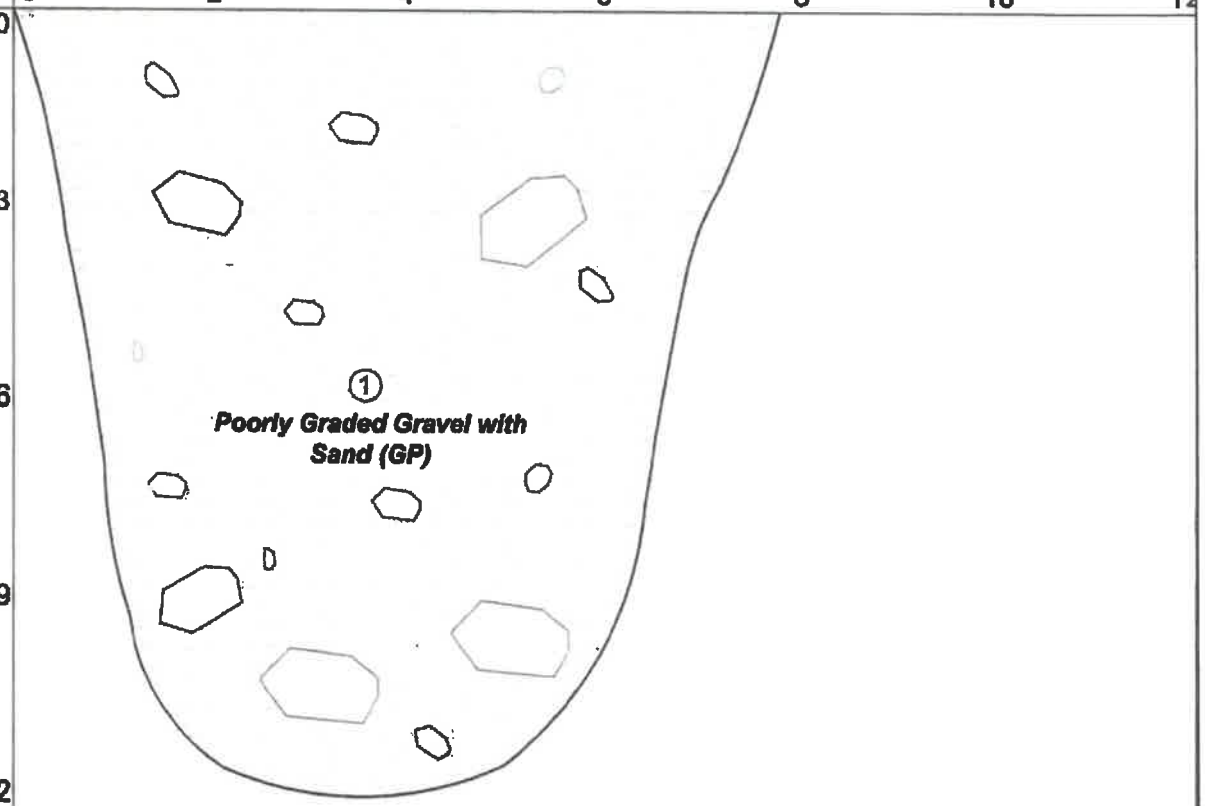
LOG OF Test Pit TP-13

Logged By: BH GPS Coordinates: N 46.287952 E -119.260865

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Pasture Grass				
(1) 0-12.0' Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Moist; subrounded to rounded gravel, cobbles, and boulders, maximum diam. approximately 22 inches; medium to coarse sand; trace nonplastic silt.	None Observed			0
				3
				6
				9
Test Pit Terminated at ±12 feet No Groundwater Encountered **Piezometer 2 Installed**				12
				15
				18

Sketch of North Pit Side Surface Elevation:

Horizontal Distance in Feet



Test Pit Terminated at ±12 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 12

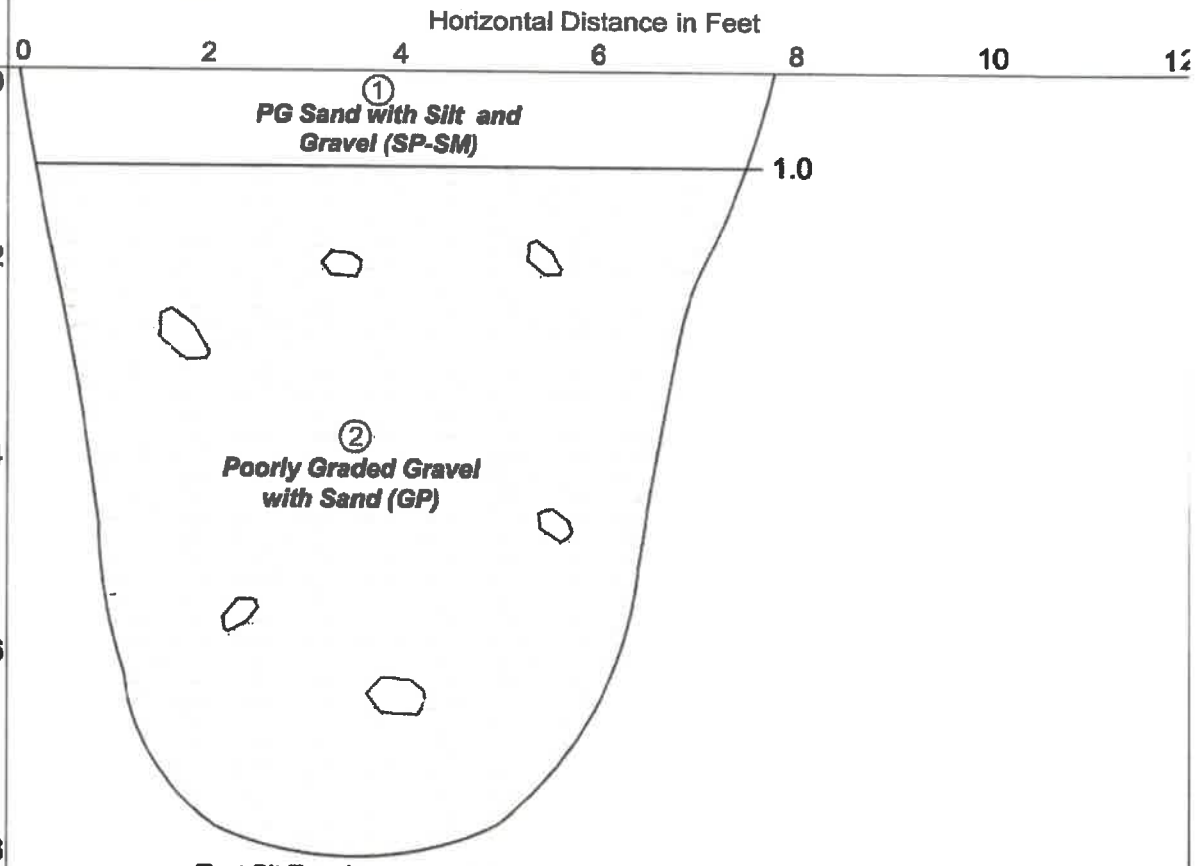
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-14

Logged By: BH GPS Coordinates: N 46.288219 E -119.260629

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Pasture Grass				
① 0-1.0' Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel, maximum diam. approximately 1 inch; fine to medium sand; nonplastic silt;	None Observed			0
② 1.0-8.0' Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Moist; subrounded to rounded gravel and cobbles, maximum diam. approximately 7 inches; medium to coarse sand; trace nonplastic silt.				2, 4, 6
Test Pit Terminated at ±8 feet No Groundwater Encountered				8, 10, 12

Sketch of West Pit Side Surface Elevation:



Test Pit Terminated at ±8 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 13

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-15

Logged By: BH GPS Coordinates: N 46.288440 E -119.260459

SOIL DESCRIPTION

Surface Description:
Pasture Grass

① 0-1.5'
Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel and cobble maximum diam. approximately 6 inch; fine to medium sand; nonplastic silt.

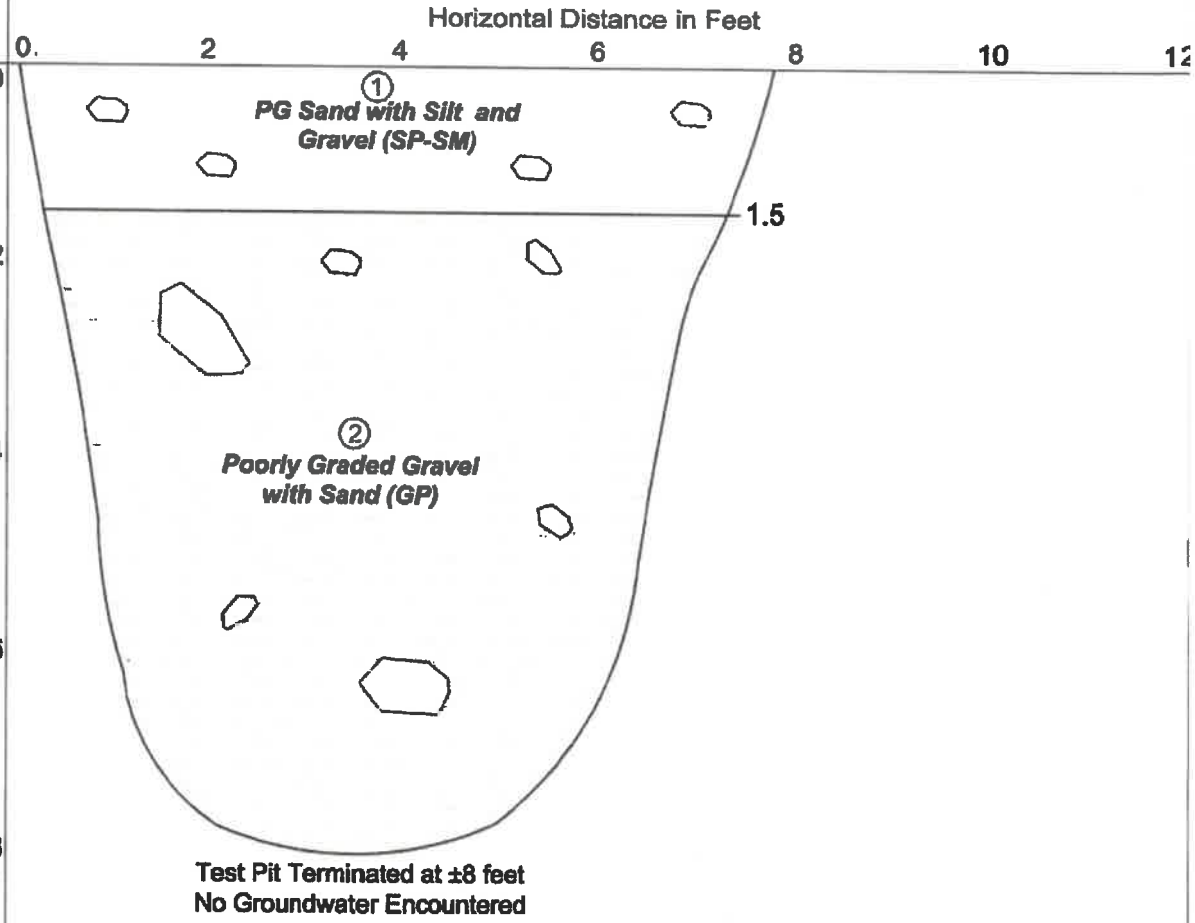
② 1.5-8.0'
Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Dry; subrounded to rounded gravel and cobbles, and boulders, maximum diam. approximately 15 inches; medium to coarse sand; trace nonplastic silt.

Test Pit Terminated at ±8 feet
No Groundwater Encountered

Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
None Observed			0
			2
			4
			6
			8
			10
			12

Sketch of East Pit Side

Surface Elevation:



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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 14

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

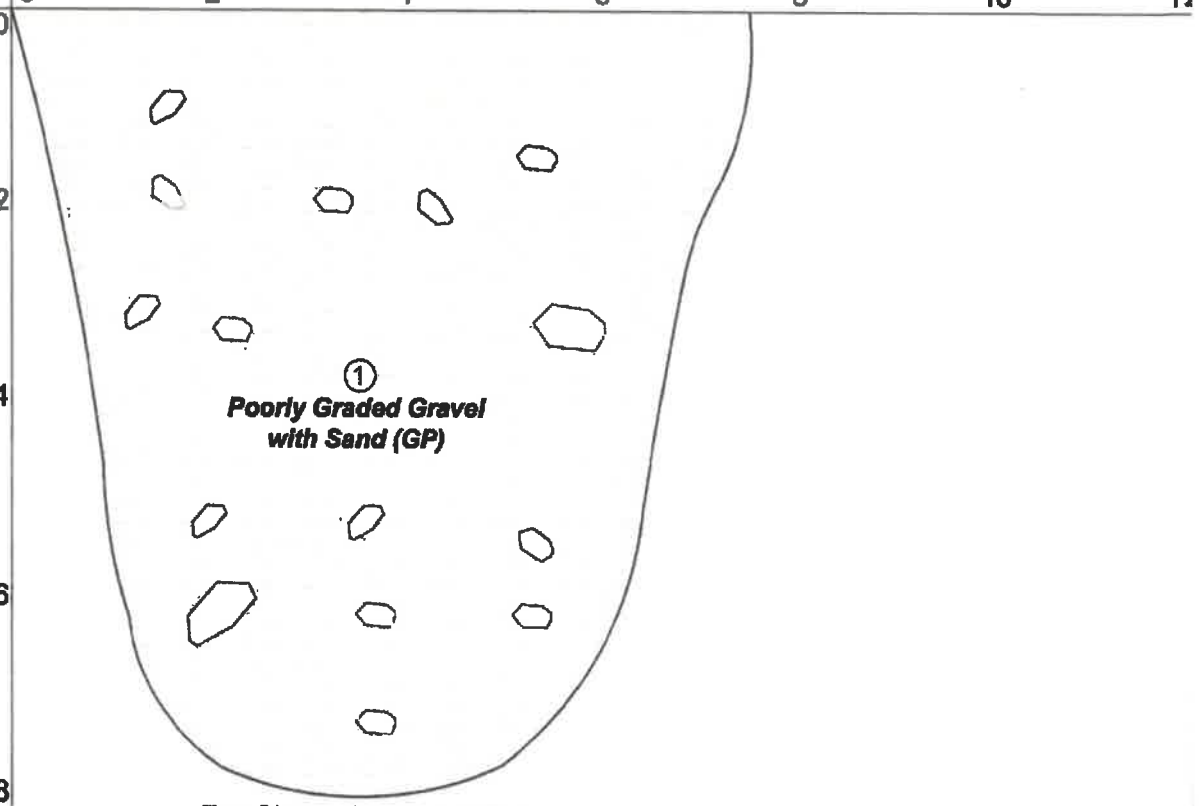
LOG OF Test Pit TP-16

Logged By: BH GPS Coordinates: N 46.288815 E -119.260102

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Pasture Grasses				
① 0-8.0' Dense, gray, ***Poorly Graded Gravel with Sand (GP)***; Dry; subrounded to rounded gravel, cobbles, an boulders, maximum diam. approximately 18 inches; medium to coarse sand; trace nonplastic silt.	None Observed		S-1	0
				2
				4
				6
				8
Test Pit Terminated at ±8 feet No Groundwater Encountered				10
				12

Sketch of North Pit Side Surface Elevation:

Horizontal Distance in Feet



Test Pit Terminated at ±8 feet
No Groundwater Encountered

August 17, 2021 BoCC Meeting
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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 15

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

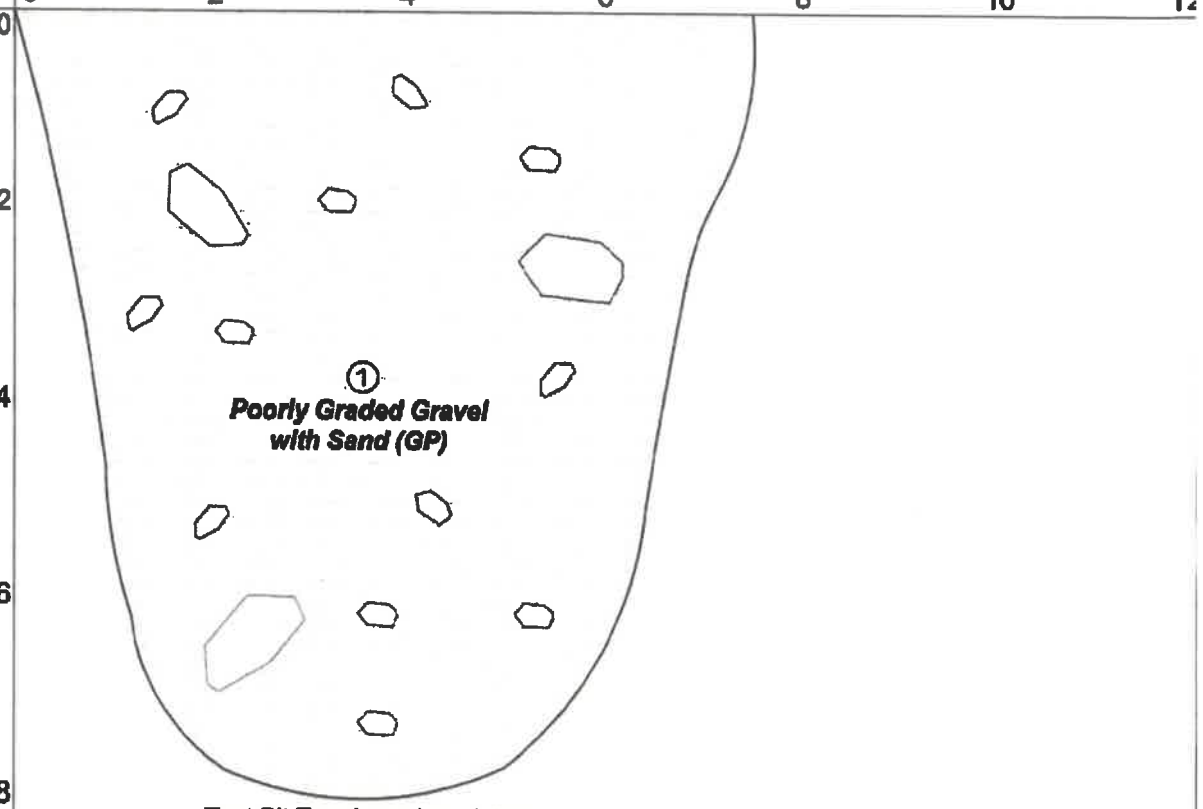
LOG OF Test Pit TP-17

Logged By: BH GPS Coordinates: N 46.289034 E -119.259752

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Dirt Road				
(1) 0-8.0' Dense, brown/gray, ***Poorly Graded Gravel with Sand (GP)***; Moist; subrounded to rounded gravel, cobbles, an boulders, maximum diam. approximately 23 inches; medium to coarse sand; trace nonplastic silt.	None Observed			0
				2
				4
				6
Test Pit Terminated at ±8 feet No Groundwater Encountered				8
				10
				12

Sketch of North Pit Side Surface Elevation:

Horizontal Distance in Feet



Test Pit Terminated at ±8 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 16

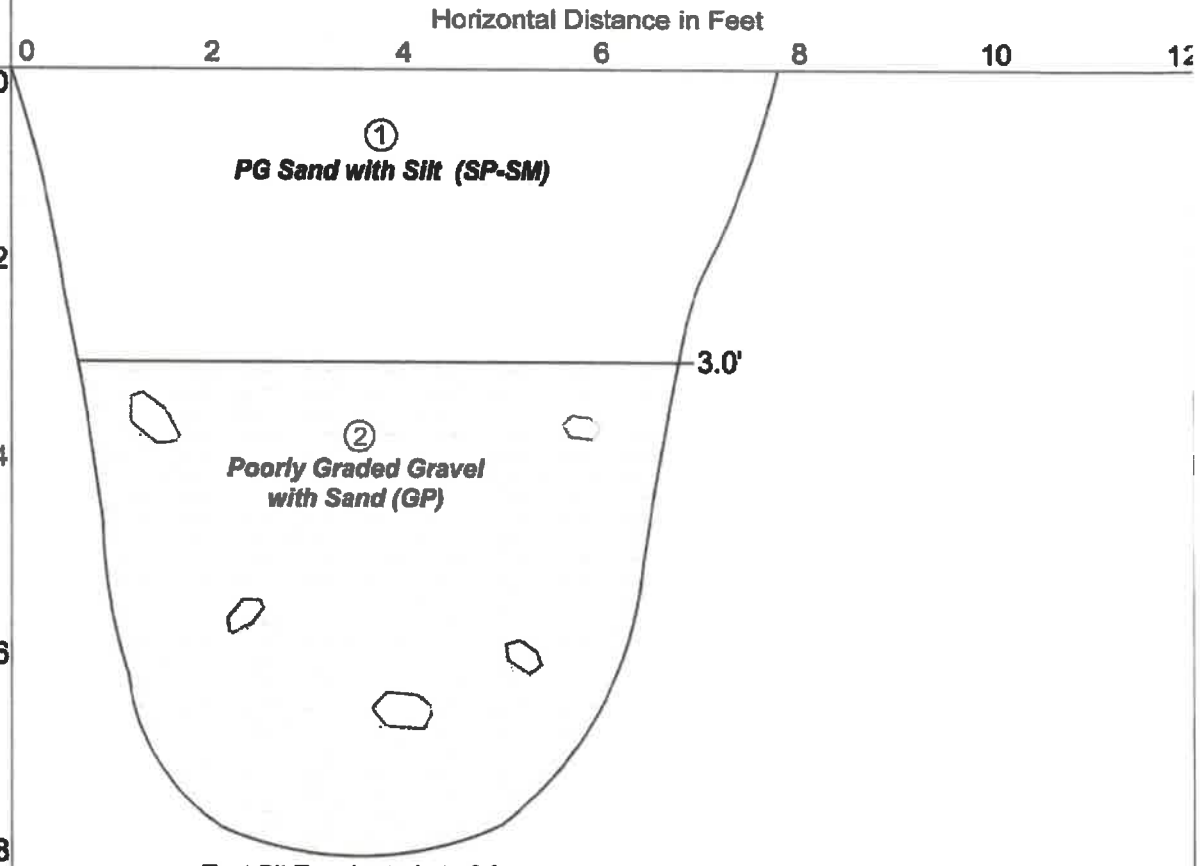
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-18

Logged By: BH GPS Coordinates: N 46.289200 E -119.259315

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Dirt Road				
① 0-3.0' Medium dense, brown ***PG Sand with Silt (SP-SM)***; Moist; little rounded ot subrounded gravel, maximum diam. approximately 1 inch; fine to medium sand; nonplastic silt;	None Observed		S-1 ☒	0
② 3.0-8.0' Dense, black/gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 11 inches; medium to coarse sand; trace nonplastic silt.				2, 4, 6, 8
Test Pit Terminated at ±8 feet No Groundwater Encountered				10, 12

Sketch of East Pit Side Surface Elevation:



Test Pit Terminated at ±8 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 17

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

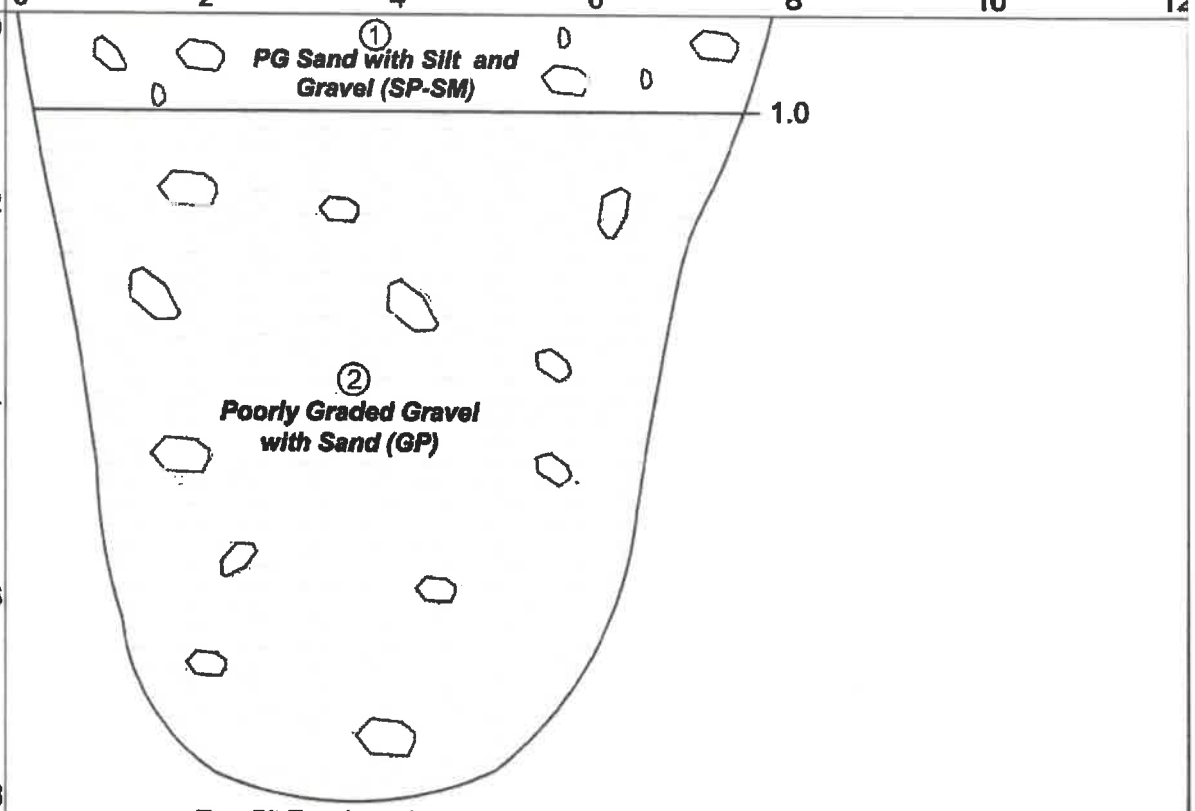
LOG OF Test Pit TP-19

Logged By: BH GPS Coordinates: N 46.289248 E -119.258867

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Agricultural Field				
① 0-1.0' Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel and cobbles, maximum diam. approximately 6 inch; fine to medium sand; nonplastic silt;	None Observed			0
② 1.0-8.0' Dense, black/gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 21 inches; medium to coarse sand; trace nonplastic silt.				2, 4, 6, 8
Test Pit Terminated at ±8 feet No Groundwater Encountered				10, 12

Sketch of North Pit Side Surface Elevation:

Horizontal Distance in Feet



Test Pit Terminated at ±8 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 18

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-20

Logged By: BH GPS Coordinates: N 46.289241 E -119.258285

SOIL DESCRIPTION

Surface Description:
Agricultural Field

① 0-1.0'
Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel and cobbles, maximum diam. approximately 6 inch; fine to medium sand; nonplastic silt;

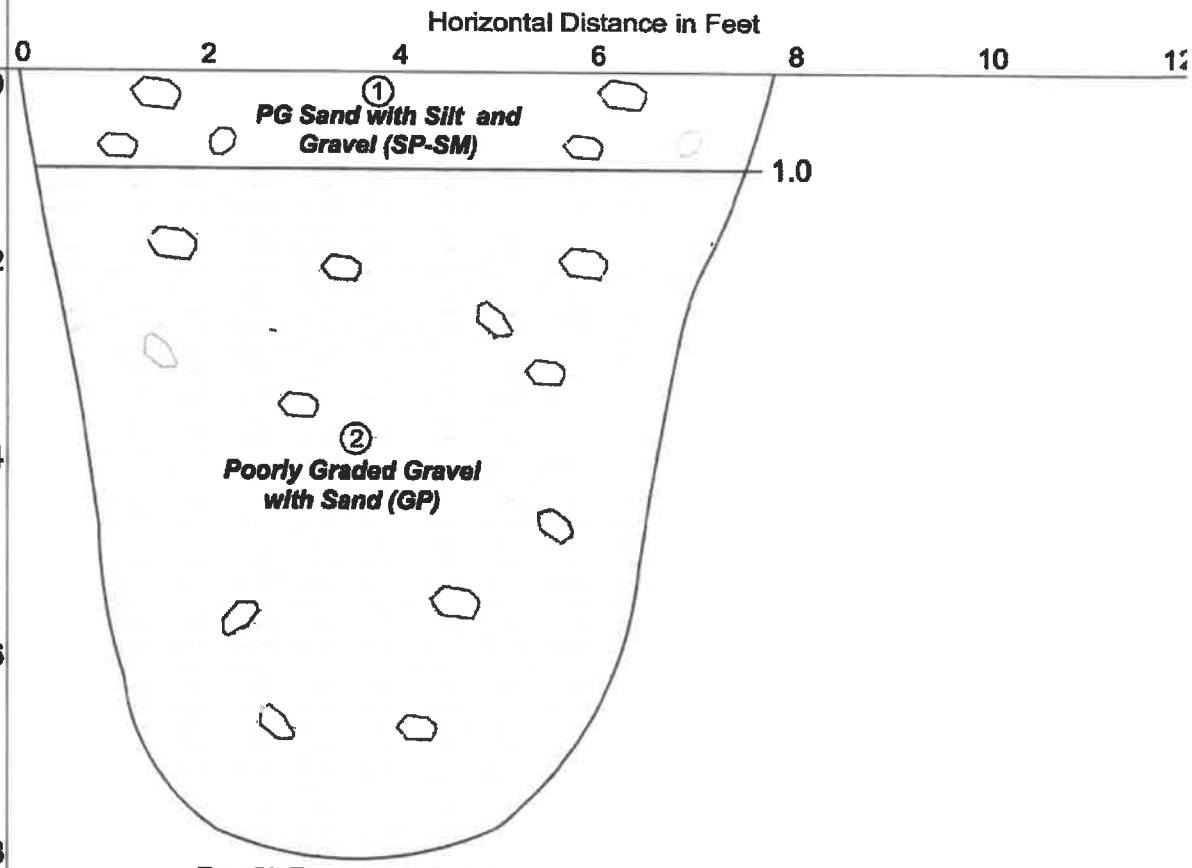
② 1.0-8.0'
Dense, black/gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 12 inches; medium to coarse sand; trace nonplastic silt.

Test Pit Terminated at ±8 feet
No Groundwater Encountered

Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
None Observed		S-1	0, 2, 4, 6, 8, 10, 12

Sketch of North Pit Side

Surface Elevation:



Test Pit Terminated at ±8 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 19

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

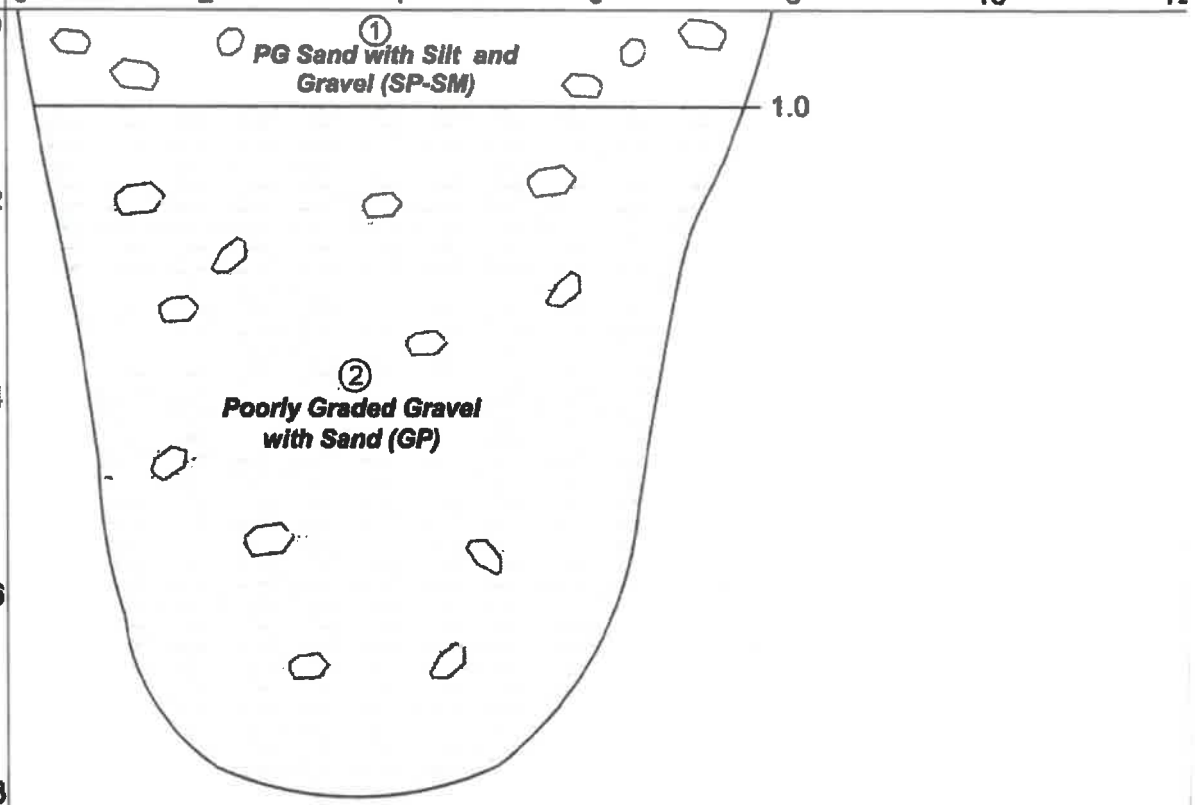
LOG OF Test Pit TP-21

Logged By: BH GPS Coordinates: N 46.289289 E -119.257824

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Agricultural Field				
① 0-1.0' Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel and cobbles, maximum diam. approximately 6 inch; fine to medium sand; nonplastic silt;	None Observed			0
② 1.0-8.0' Dense, black/gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 6 inches; medium to coarse sand; trace nonplastic silt.				2, 4, 6, 8
Test Pit Terminated at ±8 feet No Groundwater Encountered				10, 12

Sketch of North Pit Side Surface Elevation:

Horizontal Distance in Feet



Test Pit Terminated at ±8 feet
No Groundwater Encountered

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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 20

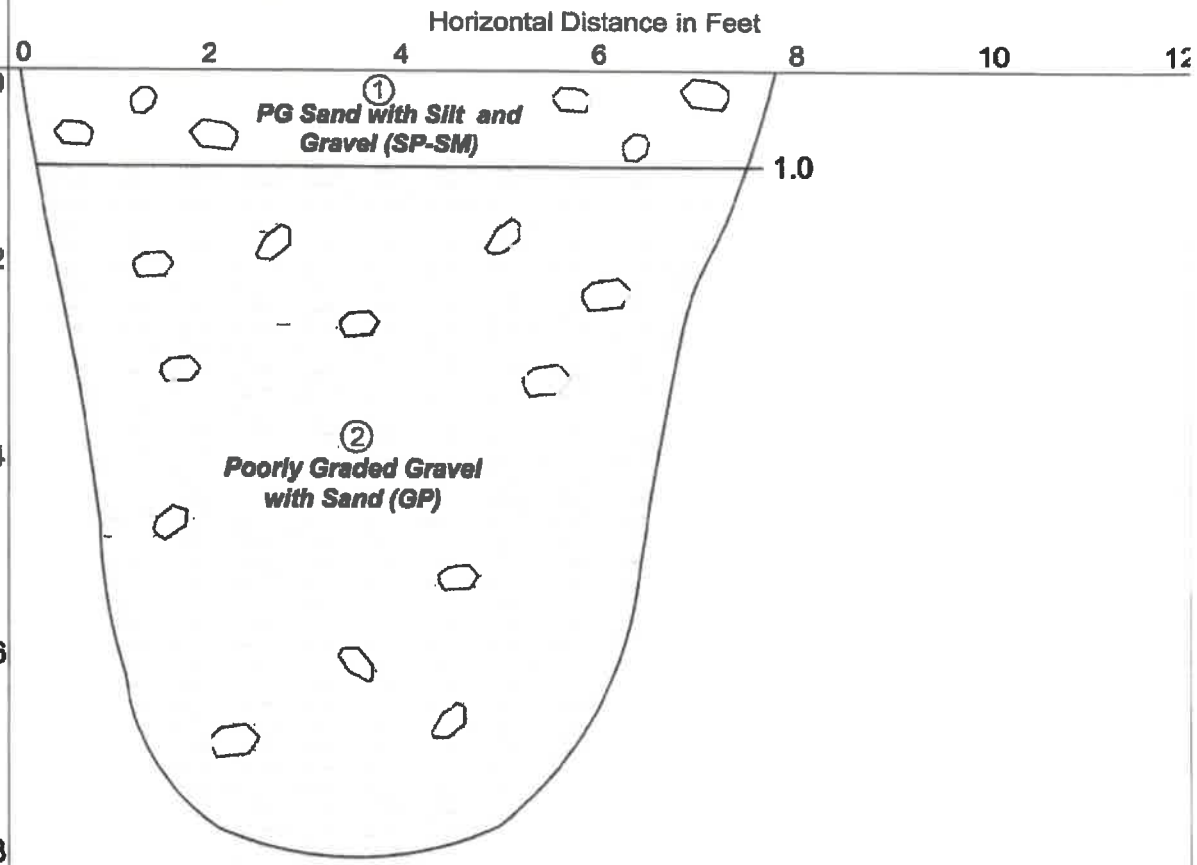
PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

LOG OF Test Pit TP-22

Logged By: BH GPS Coordinates: N 46.289218 E -119.257177

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Agricultural Field				
① 0-1.0' Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel and cobbles, maximum diam. approximately 6 inch; fine to medium sand; nonplastic silt;	None Observed			0
② 1.0-8.0' Dense, black/gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 6 inches; medium to coarse sand; trace nonplastic silt.				2, 4, 6, 8
Test Pit Terminated at ±8 feet No Groundwater Encountered				10, 12

Sketch of North Pit Side Surface Elevation:



Test Pit Terminated at ±8 feet
No Groundwater Encountered

August 17, 2021 BoCC Meeting
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JOB NO: 21-102 EX. DATE: 4/28/2021 LOCATION: Lot 20

PROJECT: Spencer Estates Residential Development - Phase 4, Franklin County, WA

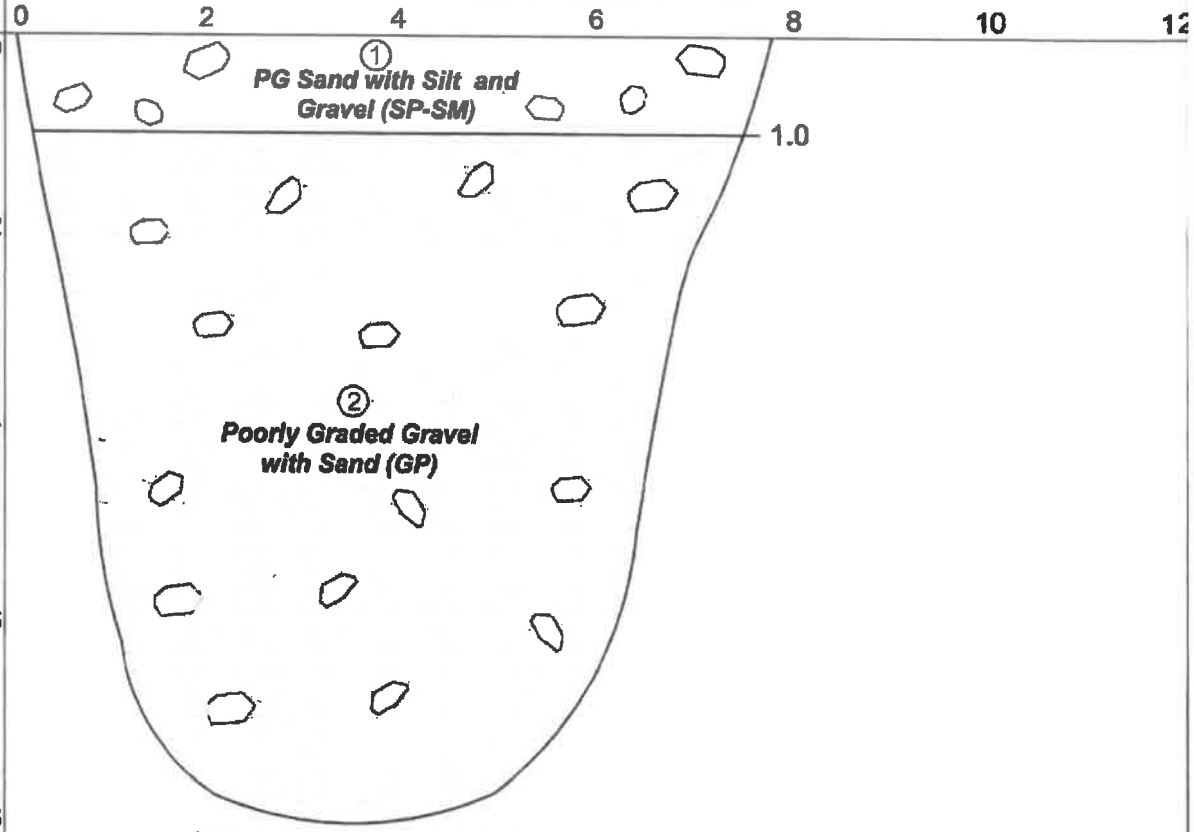
LOG OF Test Pit TP-23

Logged By: BH GPS Coordinates: N 46.289280 E -119.256120

SOIL DESCRIPTION	Ground Water	Blow Counts ASTM STP399	Samples	Depth, Ft.
Surface Description: Agricultural Field				
① 0-1.0' Medium dense, brown ***PG Sand with Silt and Gravel (SP-SM)***; Moist, little rounded ot subrounded gravel and cobbles, maximum diam. approximately 6 inch; fine to medium sand; nonplastic silt;	None Observed			0
② 1.0-8.0' Dense, black/gray, ***Poorly Graded Gravel with Sand (GP)***; Moist to dry; subrounded to rounded gravel and cobbles, maximum diam. approximately 12 inches; medium to coarse sand; trace nonplastic silt.				2, 4, 6, 8
Test Pit Terminated at ±8 feet No Groundwater Encountered				10, 12

Sketch of North Pit Side Surface Elevation:

Horizontal Distance in Feet



Test Pit Terminated at ±8 feet
No Groundwater Encountered

APPENDIX B
LABORATORY TEST RESULTS

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CLIENT:	Big Sky Developers, LLC	**PROJECT NUMBER:**	21-102
PROJECT:	Spencer Estates - Phase 4	**WORK ORDER #:**	21-0731
SAMPLE SOURCE:	TP5 @ 2'	**SAMPLE NUMBER:**	21-0731-1
DATE SAMPLED:	4/28/2021	**DATE TESTED:**	4/30/2021
MATERIAL TYPE:	Silty Sand	**TESTED BY:**	AJD

Sampled in Accordance with ASTM D 75 and reduced in accordance with ASTM C 702 or D 421 unless otherwise noted.

SIEVE ANALYSIS OF SOILS
ASTM C 136/D 1140

Sieve Size:	Percent Passing:	Specs:	Sieve Size:	Percent Passing:	Specs:
4"			#4	91%	
3"			#8		
2 1/2"			#10	87%	
2"			#16		
1 1/2"			#20	84%	
1 1/4"	100%		#30		
1"	99%		#40	83%	
3/4"	97%		#50		
5/8"	96%		#60		
1/2"	95%		#80	76%	
3/8"	93%		#100	69%	
1/4"			#200	36.6%	

SOIL MOISTURE DETERMINATION
ASTM D 2216

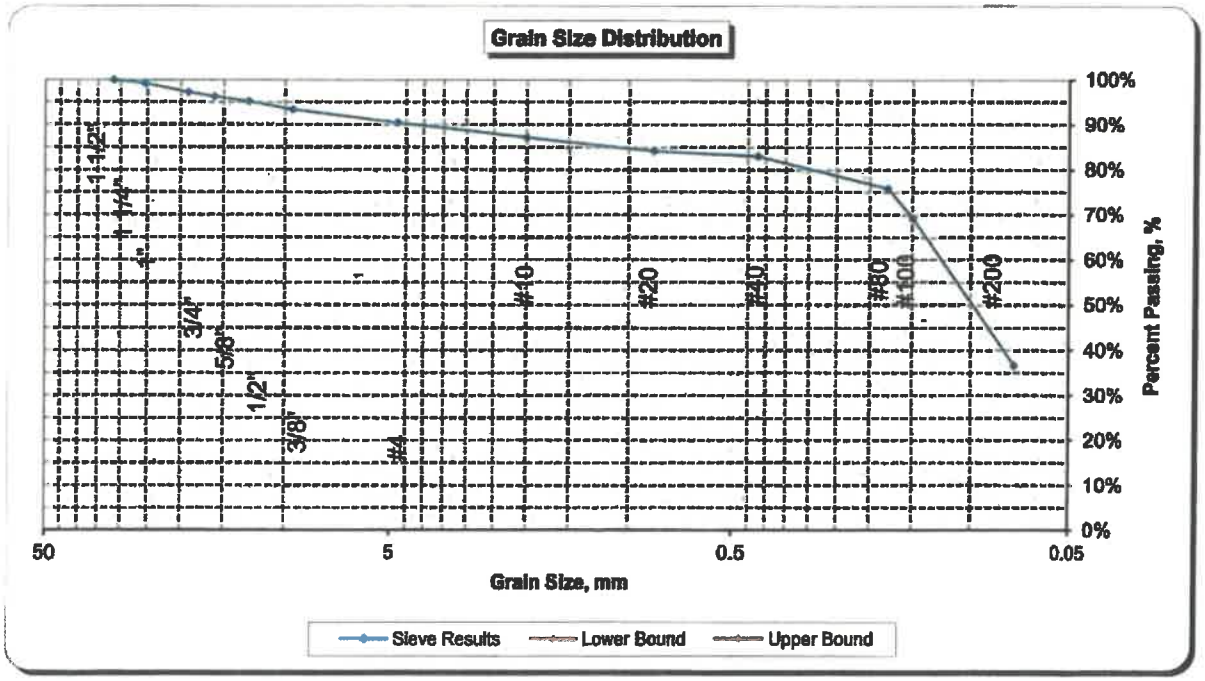
FINENESS MODULUS - ASTM C 136

0.50

HYDROMETER (.02MM) - D 422

FINER THAN #200 - C 117

FRACTURED FACE COUNT
ASTM D 5821



REVIEWED BY:
Dee Burrie, Technical Director

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CLIENT:	Big Sky Developers, LLC	**PROJECT NUMBER:**	21-102
PROJECT:	Spencer Estates - Phase 4	**WORK ORDER #:**	21-0731
SAMPLE SOURCE:	TP6 @ 4'	**SAMPLE NUMBER:**	21-0731-2
DATE SAMPLED:	4/28/2021	**DATE TESTED:**	4/30/2021
MATERIAL TYPE:	Poorly Graded Gravel with Silt and Sand	**TESTED BY:**	AJD

Sampled in Accordance with ASTM D 75 and reduced in accordance with ASTM C 702 or D 421 unless otherwise noted.

SIEVE ANALYSIS OF SOILS
ASTM C 136/D 1140

Sieve Size:	Percent Passing:	Specs:	Sieve Size:	Percent Passing:	Specs:
4"			#4	47%	
3"			#8		
2 1/2"	100%		#10	38%	
2"	98%		#16		
1 1/2"			#20	25%	
1 1/4"			#30		
1"	79%		#40	18%	
3/4"	70%		#50		
5/8"	65%		#60		
1/2"	60%		#80	14%	
3/8"	55%		#100	13%	
1/4"			#200	8.3%	

SOIL MOISTURE DETERMINATION
ASTM D 2216

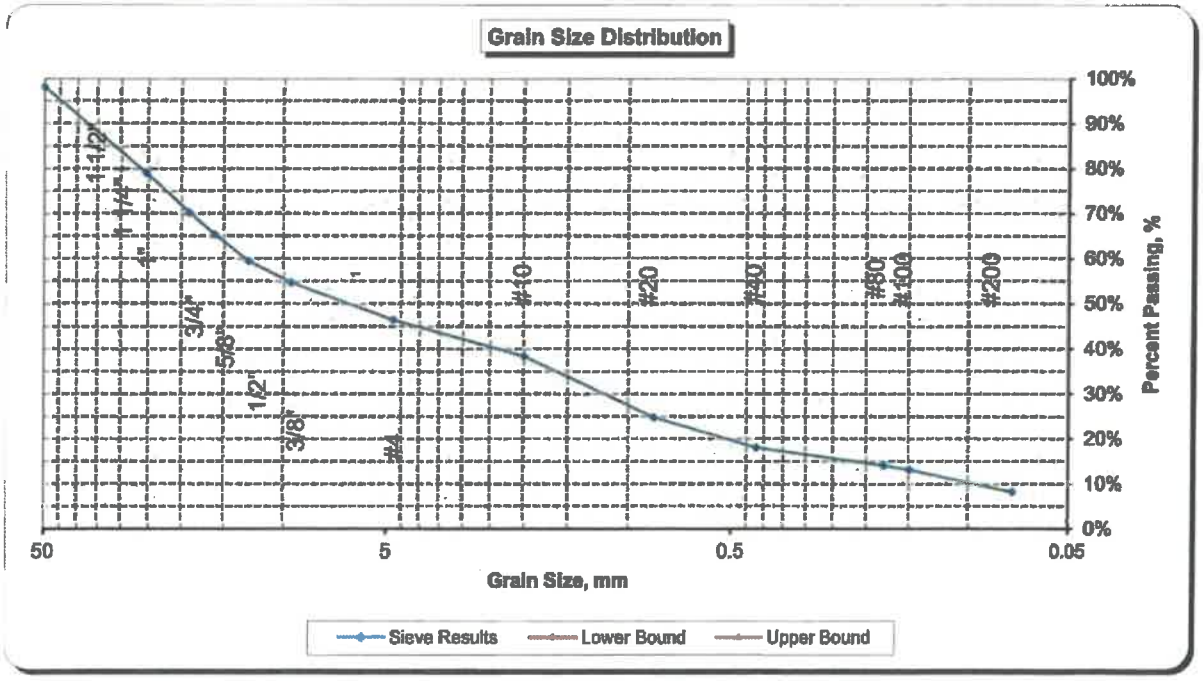
FINENESS MODULUS - ASTM C 136

2.15

HYDROMETER (.02MM) - D 422

FINER THAN #200 - C 117

FRACTURED FACE COUNT
ASTM D 5821



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CLIENT: Big Sky Developers, LLC	**PROJECT NUMBER:** 21-102
PROJECT: Spencer Estates - Phase 4	**WORK ORDER #:** 21-0731
SAMPLE SOURCE: TP11 @ 2'	**SAMPLE NUMBER:** 21-0731-3
DATE SAMPLED: 4/28/2021	**DATE TESTED:** 4/30/2021
MATERIAL TYPE: Silty Gravel with Sand	**TESTED BY:** AJD

Sampled in Accordance with ASTM D 75 and reduced in accordance with ASTM C 702 or D 421 unless otherwise noted.

SIEVE ANALYSIS OF SOILS
ASTM C 136/D 1140

Sieve Size:	Percent Passing:	Specs:	Sieve Size:	Percent Passing:	Specs:
4"			#4	54%	
3"			#8		
2 1/2"			#10	54%	
2"			#16		
1 1/2"			#20	53%	
1 1/4"	100%		#30		
1"	96%		#40	52%	
3/4"	89%		#50		
5/8"	82%		#60		
1/2"	75%		#80	42%	
3/8"	67%		#100	33%	
1/4"			#200	12.3%	

SOIL MOISTURE DETERMINATION
ASTM D 2216

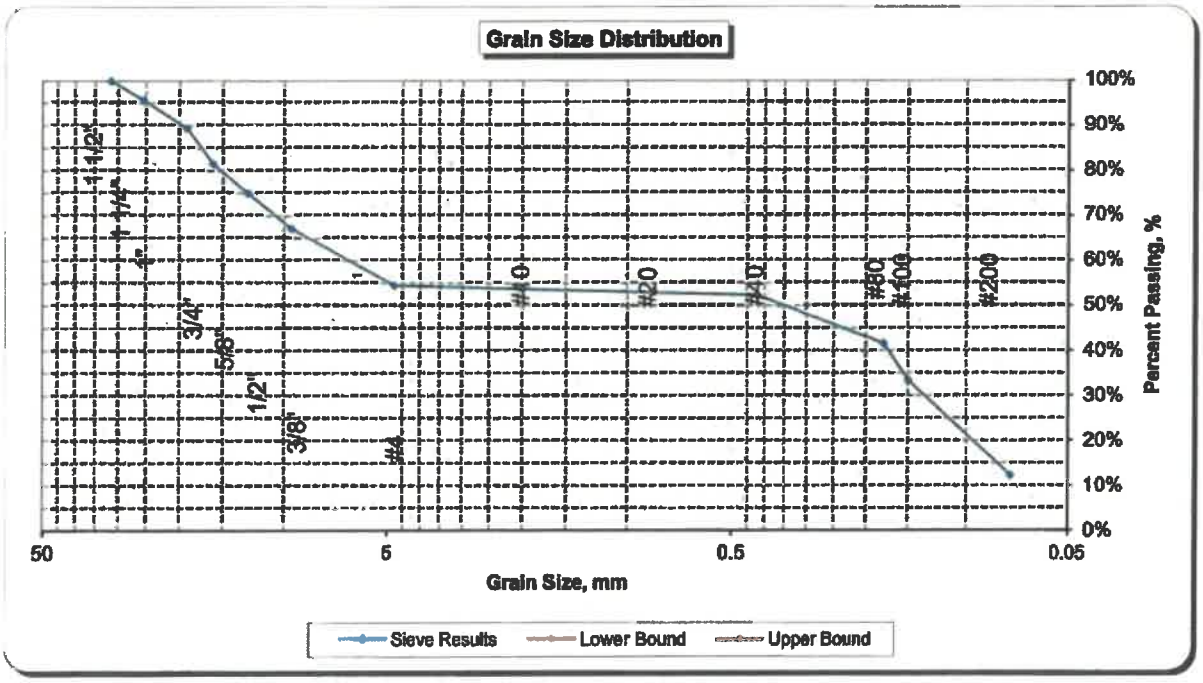
FINENESS MODULUS - ASTM C 136

1.56

HYDROMETER (.02MM) - D 422

FINER THAN #200 - C 117

FRACTURED FACE COUNT
ASTM D 5821



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CLIENT:	Big Sky Developers, LLC	**PROJECT NUMBER:**	21-102
PROJECT:	Spencer Estates - Phase 4	**WORK ORDER #:**	21-0731
SAMPLE SOURCE:	TP20 @ 5'	**SAMPLE NUMBER:**	21-0731-4
DATE SAMPLED:	4/28/2021	**DATE TESTED:**	4/30/2021
MATERIAL TYPE:	Poorly Graded Gravel with Sand	**TESTED BY:**	AJD

Sampled in Accordance with ASTM D 75 and reduced in accordance with ASTM C 702 or D 421 unless otherwise noted.

SIEVE ANALYSIS OF SOILS
ASTM C 136/D 1140

Sieve Size:	Percent Passing:	Specs:	Sieve Size:	Percent Passing:	Specs:
4"			#4	41%	
3"			#8		
2 1/2"	100%		#10	36%	
2"	86%		#16		
1 1/2"			#20	25%	
1 1/4"			#30		
1"	66%		#40	8%	
3/4"	60%		#50		
5/8"	56%		#60		
1/2"	52%		#80	4%	
3/8"	47%		#100	3%	
1/4"			#200	1.6%	

SOIL MOISTURE DETERMINATION
ASTM D 2216

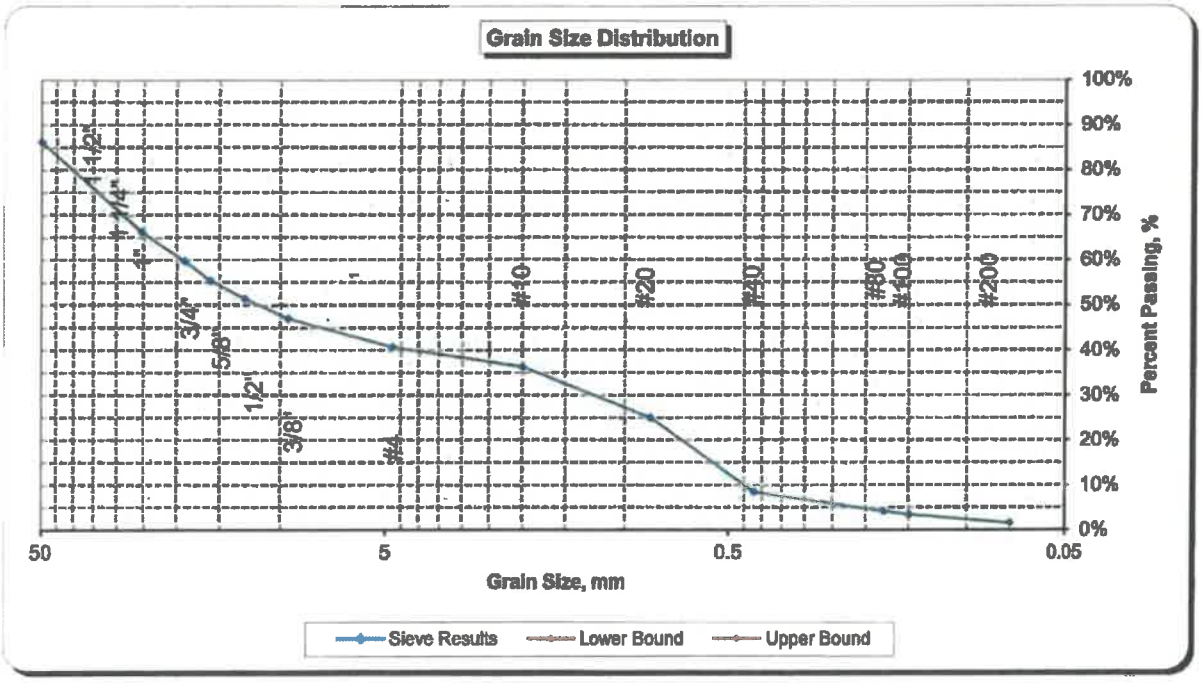
FINENESS MODULUS - ASTM C 136

2.49

HYDROMETER (.02MM) - D 422

FINER THAN #200 - C 117

FRACTURED FACE COUNT
ASTM D 5821



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FRANKLIN COUNTY, WASHINGTON

STATE ENVIRONMENTAL POLICY ACT (SEPA)
DETERMINATION OF NONSIGNIFICANCE (DNS)

Description of proposal: Spencer Estates, Phase 4. Preliminary Plat: Said application is to allow for the development of a single-family residential subdivision, comprising six (6) parcels, totaling approximately 37.5-acres, and creating fifty-five (55), 1/2 acre lots, minimum. The area where the project is proposed has a zoning designation of Rural Suburban 20 (RS-20), with a comprehensive plan designation of Mixed Density Residential. The proposal includes the development of public roads, onsite septic systems, and connection to City of Pasco water for each lot. Grading will be necessary to develop building pads for residential structures.

File Number: SEPA 2021-11 (SUB 2021-05)

Proponent Big Sky Development, LLC

Legal Description(s):

126-150-094: TRACT IN SW COR OF 1-9-28 DESC AS FOL: COMM AT THE GOVT MONUMENT AT THE INTERS OF S LN OF SEC 1 & E BDY OF GOV RIVER FRONTAGE; TH E 292'; TH N 10d E 250'; TH N 77d W 236'; TH S 19d W 317' M/L TO POB

126-150-142: SHORT PLAT 2018-32 LOT 2

126-150-147: LOT 1- PTN S2SW4 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN, 1636.31'; TH N21D31'E, 594.01'; TH S89D33'E, 133.42'; TH N21D31'E,539.56' TO TPOB; TH CONT N21D31'E, 268.7' TO N LN S2SW; TH N89D33'W ALG N LN, 883.08' TO E LN OF A PARCEL CONVEYED TO USA BY WD#161482; TH S21D31'W ALG E LN, 269.63'; TH S89D33'E, 883.06' TO TPOB TOG W/ESMT FOR I/E AND UTIL

126-150-156: LOT 2-PTN S2SW 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN SD SEC, 1636.31'; TH N21D31'E, 594.01' TH S89D33'E, 133.42'; TH N21D31'E, 269.78' TO TPOB; TH CONT N21D31'E, 269.78'; TH N89D33'W, 883.06' TO E LN PARCEL CONVEYED TO USA BY WD#161482;TH S21D31'W ALG SD W LN, 269.78'; TH S89D33'E, 883.06' TO TPOB. TOG W/ESMT FOR I/E & UTIL

126-150-165: LOT 3-PTN S2SW 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN SD SEC, 1636.31'; TH N21D31'E, 594.01' TO TPOB; TH S89D33'E, 133.42'; TH N21D 31'E, 269.78'; TH N89D33'W, 883.06' TO E LN PARCEL CONVEYED TO USA BY #161482 TH S21D31'W ALG SD E LN, 269.78'; TH S89D33'E, 749.64' TO TPOB. TOG W/ESMT FOR I/E & UTILITIES

126-150-174: LOT 4-PTN GOVT LOT 4 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN SD SEC, 1636.31'; TH N21D31'E, 269.07' TO TPOB; TH CONT N21D31'E, 326.94'; TH N89D33'W, 749.64' TO E LN PARCEL CONVEYED TO USA IN WD#161482; TH S21D31'W ALG SD E LN, 269.97'; TH S76D08'E, 229.08'; TH S89D33'E, 506.35 TO TPOB. TOG W/ESMT FOR I/E & UTIL

Location: The property is generally located east of the Columbia River, 1,180' north of the north terminus of Kohler Road, 1,750' south of Terrace Dr., and 1,725' NW of Dent Road. (Parcel Numbers: 126-230-064) The site is situated in a portion of the North ½ of Section 1, Township 9 N, Range 28 E, W.M. in Franklin County, WA

Lead Agency: *Franklin County, Washington.*

Findings:

1. Earth (grading) impacts:
   a. Soil Erosion: There is a potential for soil erosion during construction. Mature and young trees and roots will be removed.
   b. Dust: Topsoil will be removed, which could result in a nuisance and result in impacts due to fugitive dust if not properly managed.
2. Air Quality impacts:
   a. Short-term: There will be impacts to air quality from construction.
   b. Long-term basis: There will be impacts to air quality from increased traffic volumes, which result in carbon emissions.
3. Historic and Cultural Preservation impacts:
   a. The statewide predictive model shows the proposed project area contains areas of high sensitivity for archaeological resources.
   b. Majority of property was consistently an active farm for decades preceding.
4. Transportation impacts: This proposal will result in additional vehicle, bicycle, and pedestrian trips to, from, and within the development site.
5. Impacts to and from surrounding land uses: There are potential impacts to surrounding land uses (including existing residential homes located to the east and north) by increased traffic, noise, and dust on a short-term basis from construction activities and on a long-term basis from future development.
6. Aesthetic impacts: There is a potential that views from properties to the east and north of the site may be affected.
7. Public service impacts: The development will result in an increased demand for public services, as fifty-five (55) homes may be added upon platting.
8. Stormwater impacts: Residential development and roadway improvements at the site will result in stormwater impacts, as there will be increased run-off from additional impervious surfaces and increased pollutants in the run-off from roads, parking areas, and landscaping.

Mitigation Measures:

1. Recommendations for earthwork (including removal of vegetation and deleterious debris, subgrade preparation, material reuse, slope stability, compaction, wet weather construction, etc.), contained in the "Spencer Estates Phase 4 Residential Development, Franklin County Washington by Baer Testing Inc. (dated May 24, 2021) and addendums to the report shall all be adhered to.
2. A Construction Storm Water Pollution Prevention Plan (SWPPP) shall be provided, with measures to mitigate for potential erosion caused by onsite storm water runoff, and the plan shall be implemented by the Contractor.
3. Best Management Practices (BMP) to minimize dust during construction shall be used, such as watering the site in accordance with local air-quality requirements. Vegetative cover or a tackifier shall be provided as soon as practicable following clearing and grading. Dust control shall comply with applicable local standards.
4. Should archaeological materials (e.g. bones, shell, stone tools, beads, ceramics, old bottles, hearths, etc.) or human remains be observed during project activities, all work in the immediate vicinity shall stop. The State Department of Archaeology and Historic Preservation (360-586-3065), the Franklin County Planning and Building Department, the affected Tribe(s) and the county coroner (if applicable) shall be contacted immediately in order to help assess the situation and determine how to preserve the resource(s). Compliance with all applicable laws pertaining to archaeological resources (RCW 27.53, 27.44 and WAC 25-48) is required.
5. A drainage system shall be designed to capture and dispose of storm water runoff onsite.
6. A separate source of irrigation water shall be implemented and provided during the life of the project.

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030 (2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request.

This DNS is issued under WAC 197-11-350; the Lead Agency will not act on this proposal for 14 days from the date of publication (June 17, 2021). Comments must be submitted by: ***July 1, 2021.***

Responsible official: ***Derrick Braaten***

Position/title/Phone: ***Planning and Building Director — (509) 545-3521***

Address: **502 Boeing Street, Pasco, WA 99301**

Date/Signature: 6/17/2021 - _____

SEPA ENVIRONMENTAL CHECKLIST
FRANKLIN COUNTY, WASHINGTON

Purpose of checklist:

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

For guidance on completing this form or assistance in understanding a question, visit http://www.ecy.wa.gov/programs/sea/sepa/ChecklistGuidance.html

The SEPA Handbook is available online at: http://www.ecy.wa.gov/programs/sea/sepa/handbk/hbintro.html

Use of checklist for nonproject proposals:

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the supplemental sheet for nonproject actions (part D). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

To Be Completed by Applicant:

Evaluation for Agency Use Only:

A. Background

1. Name of proposed project, if applicable:

   Spencer Estates Phase 4

2. Name of applicant:

   Big Sky Developers, LLC

3. Address and phone number of applicant and contact person:

   Applicant:
   Big Sky Developers, LLC
   c/o Dave Greeno
   5426 N Road 68, Box D-113, Pasco, WA 99301
   (509) 521-4834

   Applicant Representative:
   Aqtera Engineering
   c/o Caleb Stromstad
   2705 St Andrews Lp, Ste C
   Pasco, WA 99301
   (509) 845-0208

4. Date checklist prepared:

   5/13/2021

5. Agency requesting checklist:

   Franklin County.

6. Proposed timing or schedule (including phasing, if applicable):

   As soon as permitted.

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

   No.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

- A storm drainage report will be developed outlining the designed system used to handle stormwater runoff from the proposed development site.
- Benton-Franklin Health District Approval Letter.
- A Geotechnical Report will provide site soil information.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

Yes.

- Subdivision OSS Review: Benton-Franklin Health District

10. List any government approvals or permits that will be needed for your proposal, if known.

- Subdivision OSS Review: Benton-Franklin Health District
- Preliminary Plat: Franklin County
- Construction right of way permit for street and utility improvements: Franklin County, City of Pasco (Water)
- Building Permits: Franklin County

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

This proposal is to subdivide 37.5 acres from parcels 126150094, 126150142, 126150147, 126150156, 126150165, and 126150174 into 55 single family residential lots. Zoning is RS-20, minimum ½ acre lots. Typical street and utility improvements will be installed to support subdivision.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

A majority of the site is undeveloped, with the exception of 2 existing dwelling units on parcels 126150094 and 126150174. The site is located at 4160 Burns Rd, Pasco, north and northeast of the intersection of Burns Road & Shoreline Rd.

The site is located in a portion of the Southwest ¼ of the Southwest ¼ of Section 1, Township 9 N, Range 28 E, W.M. in Franklin County, WA

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site:

(circle one): Flat, rolling, hilly, steep slopes, mountainous, other

_____

b. What is the steepest slope on the site (approximate percent slope)?

The site is generally flat (< 1%), with the exception of 5-15% grades along the west boundary which slope west toward the Columbia River. Maximum grade of site is 15%.

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

Majority of soil is Burbank loamy fine sand, with Finley gravelly sandy loam along the western boundary of the site, per NRCS soils data.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

There are no indications or history of unstable soils in the immediate vicinity. This is confirmed by Franklin County's erosion/landslide hazard map.

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

All onsite grading will be balanced to accommodate the construction of the single-family residential units and the associated improvements. Grading quantities are unknown at this time, but will be minimal by observation.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Soil erosion is a potential during the construction phase. The site is covered by an existing potato field and an orchard (cherry trees) which will be removed during construction. Grading of the site will strip vegetation and trees which will increase the potential for wind and stormwater erosion.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

It is anticipated that approximately 8% of the overall site will be covered with impervious surfaces for road right-of-way after construction. In addition, up to 40% of each of the individual lots may include impervious surfaces, to include the homes, driveways, additional parking area, etc. per the RS-20 zoning code site development standards.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

- Adhering to geotechnical recommendations for slope stability and compaction.
- Construction Stormwater Pollution Prevention Plan (SWPPP) implemented by the Contractor will provide measures to mitigate for potential erosion caused by onsite stormwater runoff.
- Compliance with Franklin County's Clean Air and dust control ordinaces during construction.
- Subdivision drainage system will be designed to capture and dispose of stormwater runoff onsite.

2. Air

a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

General exhaust from construction vehicles will occur. Post development emissions typical from residential subdivisions will occur such as vehicle exhaust.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

No off-site sources of emissions or odor are expected to affect this proposal. FC: Property is located within a "Right to Farm" area. Farming activities within close proximity to the site may produce emissions or odors.

c. Proposed measures to reduce or control emissions or other impacts to air, if any:

During construction, shutting off equipment when not in use will help reduce emissions.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

3. **Water**

a. Surface Water:

1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

- The Columbia River is approximately 150' west of the site.

2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No construction will occur within 200 feet of the Columbia River.

3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

None.

4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

Utilizing existing intakes southwest and northwest of the site, the proposed development will make withdrawals from the Columbia River to supply irrigation water to the subdivision.

5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

Based on FEMA Flood Insurance Rate Map (FIRM) panel 530044-0675-B, the site is within zone C. Zone C does not lie within the 100-year floodplain.

6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No, the proposed development will not involve discharge of waste materials to surface waters.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

b. Ground Water:

1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No new wells will be installed within this proposed subdivision. There are 2 existing wells onsite, both of which will be decommissioned.

2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

Domestic sewage material will be discharged to onsite sewage systems. All proposed lots will utilize individual onsite sewage systems. Location and size of each system will be determined by the standards adopted by the Benton Franklin Health District.

c. Water runoff (including stormwater):

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

On site runoff will be generated primarily from new impervious road surfaces. The runoff generated from these surfaces will be captured and infiltrated on site, via roadside swales and other infiltration methods.

2) Could waste materials enter ground or surface waters? If so, generally describe.

Storwater runoff coming in contact with contamination sources could cause waste materials to enter the ground. Improperly working or installed onsite sewage disposal systems have the potential to discharge untreated waste into the ground.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

The drainage patterns within the site will remain largely unchanged, as runoff will continue to sheet flow northwest. Onsite retention and disposal of stormwater is proposed with the subdivision improvements. As the site exists, stormwater runoff sheet flows northwest and likely infiltrates.

An existing irrigation drainage swale along the north boundary of the property is used to collect and channel runoff from onsite crop irrigation. Once crop irrigation permanently ceases, this drainage swale will be eliminated.

It is unknown if the existing site discharges stormwater offsite during a significant rain event.

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Measures to reduce and control surface runoff will be met following SWMMEW and Franklin County standards. Engineered stormwater design calculations will be submitted to the County for review.

4. Plants

a. Check the types of vegetation found on the site:

____deciduous tree: alder, maple, aspen, other
_X_evergreen tree: fir, cedar, pine, other
_X_shrubs
____grass
____pasture
_X_crop or grain
_X_ Orchards, vineyards or other permanent crops.
____ wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
____water plants: water lily, eelgrass, milfoil, other
____other types of vegetation

To Be Completed by Applicant:

Evaluation for Agency Use Only:

b. What kind and amount of vegetation will be removed or altered?

Existing vegetation on the site will be cleared for development purposes, along with the existing cherry orchard and crop field.

c. List threatened and endangered species known to be on or near the site.

No known threatened or endangered plant species are located on or near the proposed site. FC: A review of WFDW PHS Map shows no known endangered plant species.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Landscaping will include typical residential vegetation, with the lots being landscaped in compliance with FCC 17.74 Landscaping and Screening.

e. List all noxious weeds and invasive species known to be on or near the site.

None are known.

5. **Animals**

a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.

Examples include:

birds: hawk, heron, eagle, songbirds, other:
mammals: deer, bear, elk, beaver, other:
fish: bass, salmon, trout, herring, shellfish, other _____

Robins, Starlings, Magpie, Kestrel Hawk, Seagull, Dove, Quail, Deer, Mice, Columbia River fish species (in Columbia River)

b. List any threatened and endangered species known to be on or near the site.

None are known. FC: A review of WFDW PHS Map shows no known threatened or endangered species.

c. Is the site part of a migration route? If so, explain.

Yes, the entire Columbia Basin is part of a migration route.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

d. Proposed measures to preserve or enhance wildlife, if any:

None proposed.

e. List any invasive animal species known to be on or near the site.

None are known.

6. **Energy and Natural Resources**

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Electrical and natural gas utilities will be utilized to meet the proposed developments energy needs.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

The proposed development will not impact the potential uses of solar energy by adjacent properties.

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

The proposed development will meet applicable state and local energy codes.

7. **Environmental Health**

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

No, the proposed development will not pose any environmental health hazards. Any waste that is generated will be disposed of consistent with city, county, and state regulations.

1) Describe any known or possible contamination at the site from present or past uses.

There are no known contamination areas at the site.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

There are no known underground hazardous chemicals or gas pipelines within the project area.

3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

Aside from equipment fueling during the construction phase, there are no other known toxic or hazardous chemicals that will be stored onsite during the life of the project.

4) Describe special emergency services that might be required.

None are known.

5) Proposed measures to reduce or control environmental health hazards, if any:

Compliance with the Department of Ecology and state standards for wells and compliance with the Benton Franklin Health District standards for onsite sewage disposal.

b. Noise

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

Typical farm equipment, traffic, and residential use noises exist near the site. These noises will not affect the proposal.

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Short-term noise will be generated during the construction phase of the proposed development. Long-term noise will be typical of residential use.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

3) Proposed measures to reduce or control noise impacts, if any:

Noise impacts produced during the construction phase will be limited in durations. To minimize noise impact, construction equipment will utilize mufflers and quieting devices. Compliance with the Franklin County Municipal code with regards to noise will be followed.

8. Land and Shoreline Use

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The site presently consists of two dwelling units, an irrigated crop field, and an orchard. The land is being used primarily for agricultural production. There is residential development immediately north, northeast, and east of the site, the Columbia River is west of the site, and Burns Road abuts the property along the southern boundary. Current land uses on nearby or adjacent properties will be unaffected by the proposal.

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

The site is zoned RS-20 and is currently being used as working farmlands. All agricultural land on the site will be converted to residential use. Per map 8 (agricultural lands) of the Franklin County Comprehensive Plan, this project does not convert any agricultural lands of long-term commercial significance.

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

FC: Property is located within a "Right to Farm" area.

No impacts due to farming are known or anticipated.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

c. Describe any structures on the site.

There are two existing dwelling units, a detached garage, a concrete slab (tennis court), and an in-ground pool on the site.

d. Will any structures be demolished? If so, what?

The in-ground pool and tennis court will be demolished . The detached garage and two existing dwelling units will remain.

e. What is the current zoning classification of the site?

RS-20 Suburban 0.5 Acre.

f. What is the current comprehensive plan designation of the site?

The site is within the City of Pasco's Urban Growth Boundary. The City of Pasco designates the site as Mixed Residential, per the 2008 Land Use Map.

g. If applicable, what is the current shoreline master program designation of the site?

Portions of the western most lots are within the Shoreline Jurisdiction. The remaining lots are outside shoreline master program jurisdiction. There is a Shoreline Recreational designation west of the project site.

h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

None known.

i. Approximately how many people would reside or work in the completed project?

55 single-family dwellings x 3 persons per dwelling = 165
Total: 165 persons

j. Approximately how many people would the completed project displace?

Zero people will be displaced.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

k. Proposed measures to avoid or reduce displacement impacts, if any:

Existing residences to remain.

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

Proposed land use is compatible with the existing land use and zoning designations.

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any:

None proposed.

9. **Housing**

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

55 dwelling units (2 existing, 53 new) provided for middle income housing.

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

Zero units will be eliminated.

c. Proposed measures to reduce or control housing impacts, if any:

None proposed.

10. **Aesthetics**

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

All structures will be built in accordance with the Franklin County Zoning District and building standards. The height of structures will not exceed the maximum height allowed for in the Franklin County Zoning District standards.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

b. What views in the immediate vicinity would be altered or obstructed?

The construction of the proposed development will alter the site's appearance. Westward scenic views from property immediately east of the property may be altered or obstructed.

b. Proposed measures to reduce or control aesthetic impacts, if any:

The proposed development will improve the aesthetics of the area by providing new streets and landscaping within the development site. The site will conform to the County's Residential Design Standards.

11. **Light and Glare**

a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Exterior building lighting will be generated by the completed project and occur during the evening and night hours.

b. Could light or glare from the finished project be a safety hazard or interfere with views?

Unlikely. Typical residential lighting anticipated.

c. What existing off-site sources of light or glare may affect your proposal?

No off-site sources of light or glare will affect this proposal.

d. Proposed measures to reduce or control light and glare impacts, if any:

The site will comply with FCC 17.66.150 Outdoor Residential Lighting.

12. **Recreation**

a. What designated and informal recreational opportunities are in the immediate vicinity?

The Columbia River is located to the west and is commonly used for recreational purposes such as boating or fishing.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

b. Would the proposed project displace any existing recreational uses? If so, describe.

The proposed development will not displace existing recreational uses.

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

Park fees (if applicable) as determined by the County will be paid at time of building permit.

13. **Historic and cultural preservation**

a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers ? If so, specifically describe.

None are known to exist on or near the proposed development site.

b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

None are known to exist on the proposed development site.

c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

The Washington Information System for Architectural and Archaeological Records Data (WISAARD) online mapping system was utilized to determine if cultural or historic resources exist near the site. WISAARD classifies the project site as: "Survey Highly Advised: Very High Risk". This classification is found along the entire Columbia River.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

Contractor shall have an inadvertant discovery protocol in place prior to ground disturbing activities.

14. **Transportation**

a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

The site will be serviced by a southern access point from Burns Road and a northern access point from the Burns Estates Phase 3 Subdivision (road name unassigned). All roads within the proposed site will be public roads, developed to Franklin County standards.

b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

No. The nearest public transit route is located along Sandifur Parkway in Pasco, approximately 2 miles southeast of the proposed development.

c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

With 55 proposed units, and a minimum of 2 parking spaces per unit, a minimum total of 110 off street parking spaces will be provided. No existing parking spaces will be eliminated as part of this proposal.

d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

New public roads within the proposed development will provide access to new dwelling units. No improvements along Burns Rd are anticipated at this time.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No. The proposed development is 6 miles from the Pasco Airport and development will not obstruct air or rail traffic.

f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

ITE Manual, Trip Generation 9th Edition was used to estimate the vehicle trips per day.

Category 210 – Single-Family Detatched Housing
Average weekday rate: 9.52 trips/unit
9.52 trips/unit * 55 units = 524 vehicle trips per day.

Total average trips generated per day by this proposal: 524 trips.

Negligible percentage of commercial and non-passenger vehicles. Peak volumes anticipated to occur between 4:00pm-6:00pm weekdays.

g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

No, the proposed development will not affect the movement of agricultural or forest products.

h. Proposed measures to reduce or control transportation impacts, if any:

Traffic impact fees (if applicable) will be paid at time of building permit.

To Be Completed by Applicant:

Evaluation for Agency Use Only:

15. Public Services

a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

The proposed development is not expected to result in an increased need for public safety services such as police and fire, or for health care and educational services, beyond that which is typical of single family residential development.

b. Proposed measures to reduce or control direct impacts on public services, if any.

Design and development will occur per County public works and planning standards. Design and construction of water lines for domestic use and fire suppression will occur per City of Pasco public works standards.

16. Utilities

a. Circle utilities currently available at the site:
electricity natural gas water refuse service telephone sanitary sewer, septic system other _____

b. Describe the utilities that are proposed for the project, the utility providing the service,and the general construction activities on the site or in the immediate vicinity which might be needed.

Water: City of Pasco
Sewer: Onsite Sewage System (Private)
Irrigation: Private onsite distribution
Electricity: Franklin PUD
Refuse Service: Basin Disposal Inc.
Communication: Charter, Lumen

FC: Response to Question 6(a) indicated natural gas would also be used.

C. Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: _____

Name of signee _Caleb Stromstad, PE_____

Position and Agency/Organization Applicant Representative / Aqtera Engineering

Date Submitted: 5/13/21__

D. supplemental sheet for nonproject actions

(**IT IS NOT NECESSARY** to use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise? Proposed measures to avoid or reduce such increases are:

   Not Applicable.

2. How would the proposal be likely to affect plants, animals, fish, or marine life? Proposed measures to protect or conserve plants, animals, fish, or marine life are:

   Not Applicable.

3. How would the proposal be likely to deplete energy or natural resources? Proposed measures to protect or conserve energy and natural resources are:

   Not Applicable.

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?
   Proposed measures to protect such resources or to avoid or reduce impacts are:

   Not Applicable.

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans? Proposed measures to avoid or reduce shoreline and land use impacts are:

   Not Applicable.

6. How would the proposal be likely to increase demands on transportation or public services and utilities?
   Proposed measures to reduce or respond to such demand(s) are:

   Not Applicable.

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

Not Applicable.

Agenda Item #2

PUBLIC NOTICE

PUBLIC COMMENTS

SUB 2021-05

Big Sky Development – 55-lot Single-Family Residential Subdivision

FRANKLIN COUNTY

PLANNING AND BUILDING DEPARTMENT

NOTICE OF OPEN RECORD PUBLIC HEARING

NOTICE IS HEREBY GIVEN that there has been proposed to the Franklin County Planning Commission an application by **Big Sky Development, LLC,** 5426 N. Road 68, Box D-113, Pasco, WA, 99301, seeking to develop a single-family residential subdivision, file # **SUB 2021-05** and **SEPA 2021-11.**

Said application is to allow for the development of a single-family residential subdivision, comprising six (6) parcels, totaling approximately 37.5-acres, and creating fifty-five (55), 1/2 acre lots, minimum. The area where the project is proposed has a zoning designation of Rural Suburban 20 (RS-20), with a comprehensive plan designation of Low Density Residential.

The subject parcels are described as follows:

LEGAL DESCRIPTION(S):

126-150-094: TRACT IN SW COR OF 1-9-28 DESC AS FOL: COMM AT THE GOVT MONUMENT AT THE INTERS OF S LN OF SEC 1 & E BDY OF GOV RIVER FRONTAGE; TH E 292'; TH N 10d E 250'; TH N 77d W 236'; TH S 19d W 317' M/L TO POB

126-150-142: SHORT PLAT 2018-32 LOT 2

126-150-147: LOT 1- PTN S2SW4 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN, 1636.31'; TH N21D31'E, 594.01'; TH S89D33'E, 133.42'; TH N21D31'E,539.56' TO TPOB; TH CONT N21D31'E, 268.7' TO N LN S2SW; TH N89D33'W ALG N LN, 883.08' TO E LN OF A PARCEL CONVEYED TO USA BY WD#161482; TH S21D31'W ALG E LN, 269.63'; TH S89D33'E, 883.06' TO TPOB TOG W/ESMT FOR I/E AND UTIL

126-150-156: LOT 2-PTN S2SW 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN SD SEC, 1636.31'; TH N21D31'E, 594.01' TH S89D33'E, 133.42'; TH N21D31'E, 269.78' TO TPOB; TH CONT N21D31'E, 269.78'; TH N89D33'W, 883.06' TO E LN PARCEL CONVEYED TO USA BY WD#161482;TH S21D31'W ALG SD W LN, 269.78'; TH S89D33'E, 883.06' TO TPOB. TOG W/ESMT FOR I/E & UTIL

126-150-165: LOT 3-PTN S2SW 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN SD SEC, 1636.31'; TH N21D31'E, 594.01' TO TPOB; TH S89D33'E, 133.42'; TH N21D 31'E, 269.78'; TH N89D33'W, 883.06' TO E LN PARCEL CONVEYED TO USA BY #161482 TH S21D31'W ALG SD E LN, 269.78'; TH S89D33'E, 749.64' TO TPOB. TOG W/ESMT FOR I/E & UTILITIES

126-150-174: LOT 4-PTN GOVT LOT 4 1-9-28 DAF: BEG AT S QTR COR SD SEC; TH N89D08'W ALG S LN SD SEC, 1636.31'; TH N21D31'E, 269.07' TO TPOB; TH CONT N21D31'E, 326.94'; TH N89D33'W, 749.64' TO E LN PARCEL CONVEYED TO USA IN WD#161482; TH S21D31'W ALG SD E LN, 269.97'; TH S76D08'E, 229.08'; TH S89D33'E, 506.35 TO TPOB. TOG W/ESMT FOR I/E & UTIL

NON-LEGAL DESCRIPTION:

The property is generally located east of the Columbia River, bounds Burns Road to the North, SW of the intersection of Ryder Rd & Whiskey River Rd, and west of the Spencer Estates, Ph. 3 subdivision. (Parcel Numbers: 126-150-094, 126-150-142, 126-150-147, 126-150-156, 126-150-165, 126-150-174)

NOTICE IS FURTHER GIVEN that said application will be considered by the Franklin County Planning Commission. A public hearing will be held on **July 13, 2021** at **7:00 PM. Due to the Covid-19 emergency declaration,** the public may not attend in person. Written comments are accepted prior to public hearing and those comments shall be submitted by either email at planninginquiry@co.franklin.wa.us, or by regular mail to Franklin County Planning Department, 502 W. Boeing Street, Pasco, WA 99301. Written Comments shall be submitted by **4:00 PM, July 9, 2021**. Further information on how to participate in the meeting is provided below.

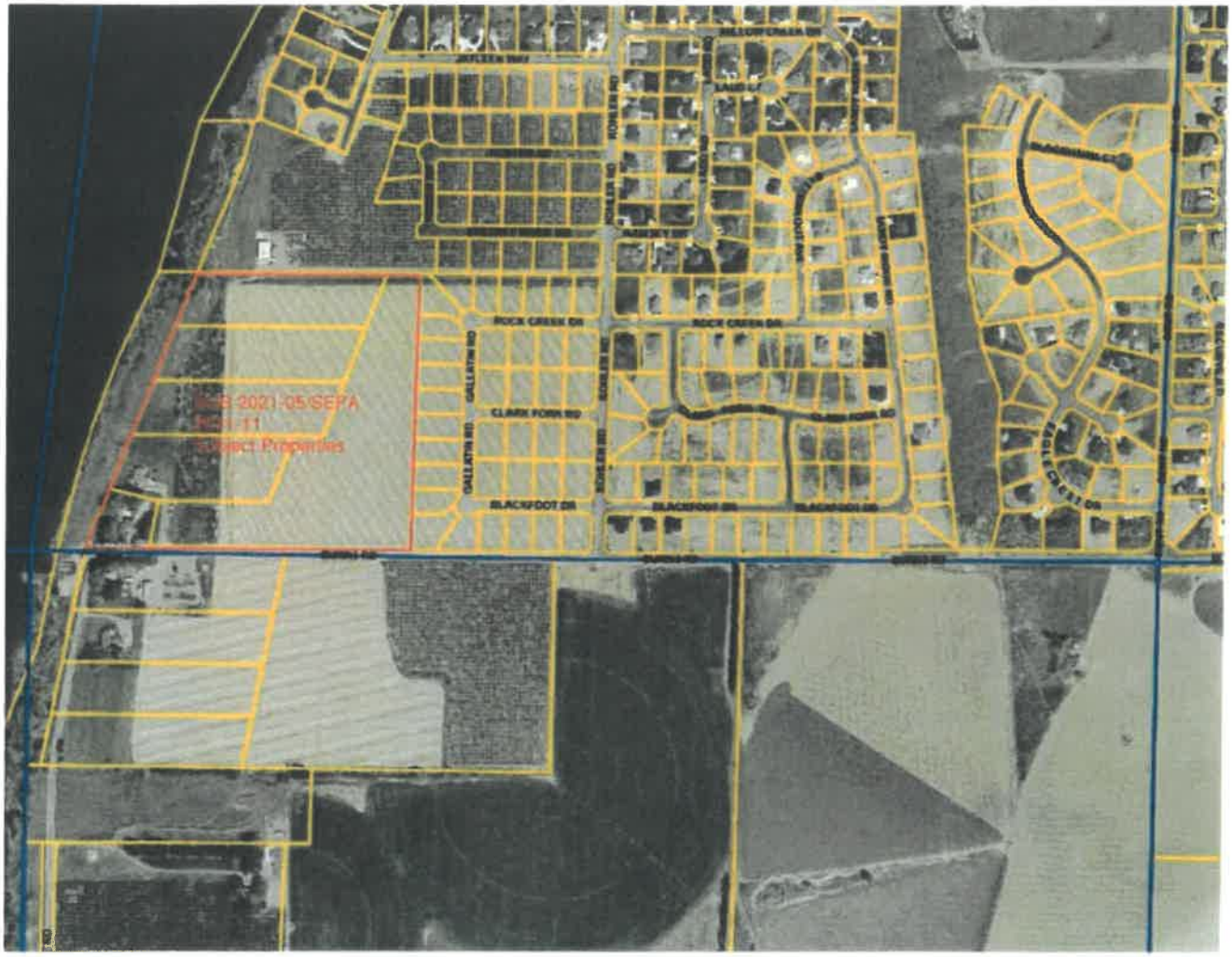
NOTICE IS FURTHER GIVEN that said proposal has been reviewed under the requirements of the State Environmental Policy Act, as amended, along with the Environmental Checklist and other information. A determination has been made as to the environmental impacts of the proposal and a **Determination of Non-Significance (DNS)** has been issued. Accordingly, an Environmental Impact Statement **is not** required. This determination was made on **June 17, 2021** and comment period for determination and environmental impacts of proposal will close on **July 1, 2021.**

HOW TO WATCH/PARTICIPATE ONLINE: You can watch the proceeding on YouTube Live, by going to the Franklin County, WA agenda page at **https://www.co.franklin.wa.us/planning/agenda.html**. To participate online, more information will be posted to the agenda page, by the Friday proceeding the meeting.

Information concerning the proposal can be obtained by email at planninginquiry@co.franklin.wa.us or by calling 509-545-3521.

DATED AT PASCO, WASHINGTON ON THIS 10th DAY OF JUNE 2021.

PUBLISH:
Franklin County Graphic: June 17, 2021



Washington State
Department of Transportation

South Central Region
2809 Rudkin Road
Union Gap, WA 98903-1648
509-577-1600 / FAX: 509-577-1603
TTY: 1-800-833-6388
www.wsdot.wa.gov

June 29, 2021

Franklin County Planning and Building Department
502 Boeing Street
Pasco, WA 99301

Attn: Derrick Braaten, Planning and Building Director

RE: SEPA 2021-11; SUB 2021-05 – Spender Estates Preliminary Plat
I-182 Exit 7 (Road 100/Broadmoor) vicinity

We have reviewed the proposed subdivision and have the following comment.

The subject property is within the city of Pasco's urban growth area and WSDOT anticipates the majority of traffic generated by this proposal will utilize Interstate 182 (I-182). We are not opposed to the proposed project. However, Exit 7 is the sole point of access to I-182 in the area and we are concerned with the cumulative impact development is having on the interchange. Therefore, in order to mitigate this project's impact, we recommend the county require the proponent to contribute towards the city of Pasco's planned improvements to the interchange, in proportion to their impact.

Thank you for the opportunity to review and comment on this proposal. If you have any questions regarding this letter, please contact Jacob Prilucik at (509) 225-0637.

Sincerely,

Paul Gonseth

Paul Gonseth, P.E.
Region Planning Engineer

PG: jjp

cc: SR 182, File #2021_015

PUBLIC HEALTH
Prevent • Promote • Protect
BENTON-FRANKLIN HEALTH DISTRICT

May 12, 2021

Big Sky Developers, LLC
c/o Dave Greeno
5426 N. Road 68 Box D-113
Pasco, WA 99301

RE: Preliminary Review of Proposed Spencer Estates Phase 4.

Dear Mr. Greeno:

This office has finished its preliminary review of the above proposed long plat in accordance with our current land development policies and requirements for new subdivisions. Our findings are listed below:

1. There are 55 proposed lots.

2. Proposed land use is for single family dwellings.

3. All proposed lots are to be served by domestic water from the City of Pasco.

4. Soil logs excavated throughout the property found predominately Type 1 soils (extremely gravelly soils) below a sandy loam topsoil.

5. Most lots are relatively flat throughout the property, with the west lots along the river slightly sloped to the west.

These findings indicate the above referenced plat generally meets our requirements for plats utilizing on-site sewage disposal systems and City of Pasco provided:

1. All lots within the plat must contain a minimum of ½ acre of gross land area and contain a minimum of 21,760 square feet of usable land area after all easements and encumbrances are subtracted.

2. All irrigation lines, canals, and surface waters within 150ft of the plat are shown on the plat map, including 100' setback from the river.

7102 W. Okanogan Place
Kennewick, WA 99336
Office: (509) 460-4200

412 W. Clark
Pasco, WA 99301
Office: (509) 547-9737

3. The test holes evaluated on this property revealed extremely gravelly soils (Type 1 soils). The sewage systems currently serving the existing residences on proposed lots 5 & 7 are the conventional/dosed gravity systems from 1993 and 1996 respectively. To develop this property, the onsite sewage systems must meet our regulations in place at time of development. Either these existing lots must remain 2.5 acres or at minimum, a system meeting Treatment Level C shall be permitted, inspected, and approved prior to plat approval.

4. If the existing lots with wells become less than 1 acre, the wells must be decommissioned in accordance with Washington State Department of Ecology standards prior to final plat approval. Documentation must be submitted to this office.

5. Any wells within 150' of this development shall be shown on the plat and shall include the 100' protective well radius.

6. The following statement is to be placed on the final plat:

   "This plat appears to have suitable conditions for the use of on-site sewage disposal systems. However, because of the nature of the testing methods used, we have no way of determining whether each lot can comply with Benton-Franklin District Board of Health Rules and Regulations at the time of permit issuance.

   Further be advised this department's approval of any lot within this plat for the use of on-site sewage disposal systems may be contingent upon that lot passing additional soil inspections/percolation tests, and/or other requirements at a later date.

   "The lots within this plat may have specific limitations and/or restrictions for the placement of on-site sewage disposal systems. The Benton-Franklin Health Department should be contacted for further information."

7. Prior to issuance of on-site sewage disposal permits, additional test holes may be required to verify acceptable area for initial and replacement sewage disposal system and design criteria such as trench depth on each lot.

8. Prior to final approval, a long plat final review fee (Code 54.37 for $200) must be submitted to this office for the final walk through review of the plat for compliance

with Benton-Franklin Health Department Rules and Regulations No. 2, and WAC 246-272A, and for the issuance of appropriate comments to the Franklin County Planning Department.

9. It is recommended that some provision be made to facilitate future connection to a municipal sewer utility at such time as said utility becomes available.

Our general recommendation is based upon present known site conditions and does not guarantee the granting of on-site sewage disposal system permits. Our approval of any lot within this plat may be contingent upon that lot passing additional soil inspections/percolation tests, and/or other requirements at a later date. Should adverse site conditions be revealed at a later date, the Health Department reserves the right to impose restrictions or deny the issuance of any on-site sewage disposal permits.

The preceding comments shall be valid for a period not to exceed 12 months from this date and will be deemed null and void should this proposal not be developed by March 30th 2022.

If you have any questions, please contact the Kennewick office, 460-4313.

Sincerely,

Deana Chiodo

Deana Chiodo
Environmental Health Specialist II

cc: Caleb Stromstad of Aqtera Engineering
Franklin County Planning Department

Allyson Brooks Ph.D., Director
State Historic Preservation Officer

July 1, 2021

Derrick Braaten
Planning and Building Director
Franklin County
502 W. Boeing St.
Pasco, WA 99301

In future correspondence please refer to:
Project Tracking Code: 2021-07-04095
Property: Franklin County_Spencer Estates Phase 4 (SUB 2021-05)
Re: Survey Highly Advised

Dear Derrick Braaten:

Thank you for contacting the Washington State Historic Preservation Officer (SHPO) and Department of Archaeology and Historic Preservation (DAHP) and providing documentation regarding the above referenced project. These comments are based on the information available at the time of this review and on behalf of the SHPO in conformance Washington State law. Should additional information become available, our assessment may be revised.

Our statewide predictive model indicates that there is a high probability of encountering cultural resources within the proposed project area. This is due, in part, to the proximity of the proposed project area to the Columbia River. Further, a previously recorded archaeological site is located immediately adjacent to the proposed project area. It is currently unknown whether this site extends into the project area, as past researchers have not been able to fully access the area. If the site does indeed extend into the project area, the scale of the proposed ground disturbing actions would destroy it. Identification during construction is not a recommended detection method because inadvertent discoveries often result in costly construction delays and damage to the resource. Therefore, we highly advise a professional archaeological survey of the project area be conducted and a report be produced prior to ground disturbing activities. This report should meet DAHP's Standards for Cultural Resource Reporting.

We also recommend that any historic buildings or structures (45 years in age or older) located within the project area are evaluated for eligibility for listing in the National Register of Historic Places on Historic Property Inventory (HPI) forms. We highly encourage the SEPA lead agency to ensure that these evaluations are written by a cultural resource professional meeting the SOI Professional Qualification Standards in Architectural History.

Please note that the recommendations provided in this letter reflect only the opinions of DAHP. Any interested Tribes may have different recommendations. We appreciate receiving any correspondence or comments from Tribes or other parties concerning cultural resource issues that you receive.

Thank you for the opportunity to comment on this project. Please ensure that the DAHP Project Tracking Number is shared with any hired cultural resource consultants and is attached to any communications or submitted reports. Please also ensure that any reports, site forms, and/or historic property inventory (HPI) forms are uploaded to WISAARD by the consultant(s).

Should you have any questions, please feel free to contact me.

Sincerely,

Sydney Hanson
Transportation Archaeologist
(360) 280-7563
Sydney.Hanson@dahp.wa.gov

United States Department of the Interior

BUREAU OF RECLAMATION
Ephrata Field Office
32 C Street NW
Ephrata, WA 98823-0815

IN REPLY REFER TO:

Jun 30, 2021

CPN-6612
2.2.3.18

VIA ELECTRONIC MAIL ONLY

Mr. Derrick Braaten, Director
Planning and Building Department
Franklin County, Washington
502 W. Boeing St.
Pasco, WA 99301

Subject: Proposed Spencer Estates Phase 4 Subdivision

Dear Mr. Braaten:

We appreciate the opportunity to review and comment on the subject proposal. Located in the South Columbia Basin Irrigation District (SCBID), in the SW ¼ of the SW ¼ of Section 1, Township 9 North, Range 28 East, Willamette Meridian, Columbia Basin Project (CBP), Franklin County, Washington. This letter is in response to your request for comments, due July 1, 2021.

Generally, all survey data on the Bureau of Reclamation Farm Unit Maps pertaining to Reclamation facilities, associated rights-of-way, and Farm Unit boundaries within the area being subdivided must be included on the plat. The plat recorded with the county is considered the official Reclamation record.

Landowners should be aware of existing Reclamation and CBP rights to construct, reconstruct, operate, and maintain CBP facilities as necessary. Reclamation and the SCBID must review and approve any work that will involve these facilities or the existing rights-of-way prior to commencing such work. Structures are prohibited from encroaching upon existing rights-of-way corridors without Reclamation's and the SCBID's prior approval. This includes, but is not limited to, improvements such as on-site sewage disposal systems, drain fields, domestic wells, paving, fencing, and landscaping. It is important to note that Reclamation's concurrence to this proposal is conditioned upon the assurance that there are no encroachments upon CBP facilities or rights-of-way.

Although this proposal is within the CBP and the SCBID, it does not involve any CBP facilities. Therefore, we have no comment regarding this proposal's impact on CBP facilities or associated rights-of-way.

Thank you for your assistance and cooperation. If you have any questions, please contact Ms. Michele Porter, GIS Specialist, at mporter@usbr.gov or Mr. Clyde Lay, Deputy Field Office Manager, at clay@usbr.gov or (509) 754-0216. For the hearing impaired, please call the Federal Relay System at (800) 877-8339.

Sincerely,

CLYDE LAY Digitally signed by CLYDE LAY
Date: 2021.06.30 09:57:34 -07'00'

Clyde Lay
Deputy Field Office Manager

cc: South Columbia Basin Irrigation District
P.O. Box 1006
Pasco, WA 99301

Aqtera Engineering, LLC
2705 St. Andrews Loop, Suite C
Pasco, WA 99301

Mr. Dave Greeno
Big Sky Developers, LLC
5426 N Road 68, Box D-113
Pasco, WA 99301

Memo

Public Works Department

To: Derrick Braaten, Planning & Building Director

From: John Christensen, County Surveyor

cc: Craig Erdman, County Engineer

Date: June 24, 2021

Re: SUB 2021-05 Spencer Estates Ph. 4

Derrick,

We have reviewed the above referenced preliminary subdivision and find the following:

1 The final plat shall be accompanied with closure notes conforming to Franklin County Subdivision Ordinance Section 7.10 (C)(4) for the subdivision boundary and all lots.

2 The following notes are required on the final plat:

a. All new approaches to County Roads will require an approach permit at the time of building permit application. A mitigation fee is required and will be collected at the time of road approach permit issuance.

b. Other thank Lot #5, no lot within this subdivision shall have direct access to Burns Road.

c. Lot owners shall agree to participate in any future L.I.D. / R.I.D.'s for roads, drainage, curb & gutters, streetlights, storm sewers, water and/or sanitary sewers.

d. Lot owners shall be responsible for the maintenance of drainage ditches or swales per the design as shown on the road construction plans for this development, unless they are no longer necessary due to an alternate drainage system being installed.

e. Lot owners shall provide landscaping within the unimproved portion of the right-of-way between the property line and the edge of pavement and/or curb. This shall consist of grass/lawn, river rock, basalt rock, gravel or

other traditional residential landscaping material. Maintenance of the landscaping is the requirement of each individual lot owner.

3 All utilities serving the subdivision must be installed underground, per Franklin County Code Chapter 7, Section 7.9A.

4 Permanent control monuments shall be installed in accordance with Franklin County Standard Plans H-6 and H-7 (brass cap in monument case) for centerline monuments when the road is constructed.

5 This development shall comply with the Franklin County Comprehensive Parking Ordinance, as defined in Franklin County Code Section 10.12, except that provisions for "on-street parking on one side of County roads" will not be permitted.

6 Cul-de-sacs shall be designed with a 47 foot minimum radius, per Franklin County Design Standards, Division 1-03.4. The cul-de-sac shall be a hard surface, per Franklin County Code Section 16.12.020(D)(2), . The minimum right-of-way shall be 55 feet or larger to accommodate the hard surface and allow for proper drainage ditches or swales.

7 Prior to final plat approval, all roads must be completed to county standards.

8 The final plat shall be accompanied with State Plane Coordinates conforming to Franklin County Subdivision Ordinance Section 7.10 (C)(1) and as set forth by state statues for recording coordinates as described in RCW 58.20.180.

9 This development is within the Burns Road Mitigation Fee area from mile post 2.54 to 3.48. A per lot mitigation fee of $519 has been set and will be required for all lots.

10 Burns Road is an Urban Major Collector and requires an additional 10 feet of right-of-way to be dedicated.

11 The developer shall provide landscape fabric and river rock, basalt rock, gravel or other traditional residential landscaping material within the unimproved portion of the right-of-way between the property line/estate wall and the edge of pavement and/or curb to assist in weed control along Burns Road.

12 A signature must be obtained from the Public Works office. To expedite the process, the applicant shall address all comments and email a final copy for review along with any additional documents (i.e. closure notes). A field check will be scheduled if needed. Once complete, Public Works will notify the applicant if any conditions remain or if all the conditions have been met and a signature can be obtained.

If you have any questions or concerns please let me know.

MEMORANDUM

DATE: July 01, 2021

TO: Derrick Braaten, Planning and Building Director

FROM: Andrew Hattori, Planner I

SUBJECT: Spencer Estates Phase 4 – Subdivision 2021-05

The following notes/requirements have been submitted by City staff regarding this project.

Engineering Division

1) A utility extension agreement will need to be entered into for City Utilities and approved by City Council. Reasonable Right-of-Way improvements will be required.

2) Complete and full Right-of-Way improvements for Burns Road.

3) Existing Right-of-Way along Burns Road appears to be only 30 feet stopping before proposed parcel 5 of Spencer Estates Phase 4 Preliminary Plat. Additional Right-of-Way will need to be dedicated.

4) Burns Road required overall Right-of-Way shall be 80 feet.

5) Connection into Shoreline Road will be required for final approval of this Plat.

Planning Division

Comments on the Spencer Estates Ph 4 Preliminary Plat:

1) FCMC Minimum Lot Dimensions state that lot depths exceeding three times the lot width shall be avoided.
    i. Confirm lot dimensions for proposed lots
    ii. Potential compliance issues with lot dimensions for Lot #4, 6, 14, 15, 30
    iii. Confirm lot configurations will comply with frontage width requirements, and identify any potential compliance issues with dwelling placement, future fence, driveways, etc
    iv. FCMC 16.16.050(C) Corner lots in residential areas shall be wider than inside lots so as to allow for appropriate setback of a building from both roads.
2) Need two points of access/egress to Burns Road.
3) Lots 5-15 are all almost entirely in a floodplain.

Comments on the Spencer Estates Ph 4 SEPA:

1) Transportation 14d:
    SEPA states no improvements along Burns Road are anticipated
    - City of Pasco requires frontage improvements at the time of development (PMC 12.36.050(1))

Agenda Item #2

MAPS/Preliminary Plat

SUB 2021-05

Big Sky Development – 55-lot Single-Family Residential Subdivision

SPENCER ESTATES PH. 4 - PRELIMINARY PLAT

A PORTION OF THE SW 1/4 OF THE SW 1/4 OF SEC. 1, TWN. 9, RGE. 28, W.M.
FRANKLIN COUNTY, WASHINGTON

GENERAL NOTES

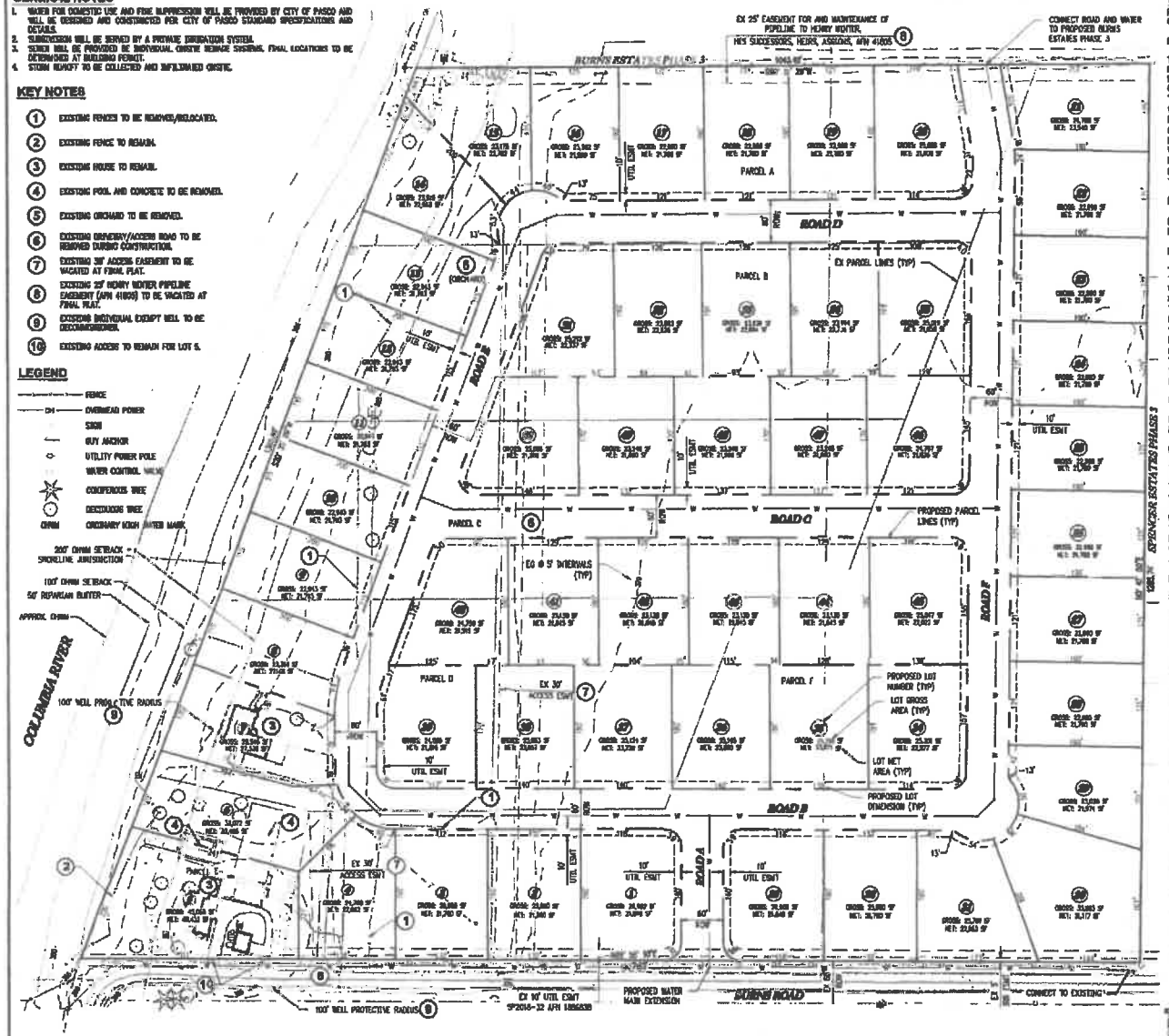
1. WATER FOR DOMESTIC USE AND FIRE SUPPRESSION WILL BE PROVIDED BY CITY OF PASCO AND WILL BE DESIGNED AND CONSTRUCTED PER CITY OF PASCO STANDARD SPECIFICATIONS AND DETAILS.
2. SUBDIVISION WILL BE SERVED BY A PRIVATE IRRIGATION SYSTEM.
3. SEWER WILL BE PROVIDED BY INDIVIDUAL ONSITE SEWAGE SYSTEMS. FINAL LOCATIONS TO BE DETERMINED AT BUILDING PERMIT.
4. STORM RUNOFF TO BE COLLECTED AND INFILTRATED ONSITE.

KEY NOTES

1. EXISTING FENCES TO BE REMOVED/RELOCATED.
2. EXISTING FENCE TO REMAIN.
3. EXISTING HOUSE TO REMAIN.
4. EXISTING POOL AND CONCRETE TO BE REMOVED.
5. EXISTING ORCHARD TO BE REMOVED.
6. EXISTING DRIVEWAY/ACCESS ROAD TO BE REMOVED DURING CONSTRUCTION.
7. EXISTING 30' ACCESS EASEMENT TO BE VACATED AT FINAL PLAT.
8. EXISTING 25' HENRY WATER PIPELINE EASEMENT (AFN 41805) TO BE VACATED AT FINAL PLAT.
9. EXISTING INDIVIDUAL EXEMPT WELL TO BE DECOMMISSIONED.
10. EXISTING ACCESS TO REMAIN FOR LOT 5.

LEGEND

- FENCE
- OH — OVERHEAD POWER
- SIGN
- GUY ANCHOR
- UTILITY POWER POLE
- WATER CONTROL VALVE
- CONIFEROUS TREE
- DECIDUOUS TREE
- OHWM — ORDINARY HIGH WATER MARK



LEGAL DESCRIPTION

PER BENTON FRANKLIN TITLE COMPANY ORDER NO. BF12536 DATED FEBRUARY 2, 2021

PARCEL A (120-130-147):

THAT PORTION OF GOVERNMENT LOT 4 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, ALL IN SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1; THENCE NORTH 89°59'00" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1,638.36 FEET; THENCE NORTH 21°37'00" EAST 594.65 FEET; THENCE SOUTH 89°37'00" EAST 133.43 FEET; THENCE NORTH 21°37'00" EAST 528.56 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUATION NORTH 21°37'00" EAST 208.70 TO THE NORTH LINE OF SAID SOUTH HALF OF THE SOUTHWEST QUARTER; THENCE NORTH 89°37'00" WEST ALONG SAID NORTH LINE, 915.05 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1014422; THENCE SOUTH 21°37'10" WEST ALONG SAID EAST LINE, 208.143 FEET; THENCE SOUTH 89°37'00" EAST 915.05 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 1 (1-9-28) OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 1042101)

PARCEL B (120-130-150):

THAT PORTION OF GOVERNMENT LOT 4 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, ALL IN SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1; THENCE NORTH 89°59'00" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1,638.36 FEET; THENCE NORTH 21°37'00" EAST 594.65 FEET; THENCE SOUTH 89°37'0" EAST 133.43 FEET; THENCE NORTH 21°37'00" EAST 208.70 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 21°37'00" EAST 208.70 FEET; THENCE NORTH 89°37'0" WEST 915.05 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1014422; THENCE SOUTH 21°37'10" WEST ALONG SAID EAST LINE, 208.70 FEET; THENCE SOUTH 89°37'0" EAST 915.05 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 2 (1-9-28) OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 1042101)

PARCEL C (120-130-160):

THAT PORTION OF GOVERNMENT LOT 4 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, ALL IN SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1; THENCE NORTH 89°59'00" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1,638.36 FEET; THENCE NORTH 21°37'00" EAST 594.65 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°37'0" EAST 133.43 FEET; THENCE NORTH 21°37'00" EAST 208.70 FEET; THENCE NORTH 89°37'0" WEST 915.05 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1014422; THENCE SOUTH 21°37'10" WEST ALONG SAID EAST LINE 208.70 FEET; THENCE SOUTH 89°37'0" EAST 915.05 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 3 (1-9-28) OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 1042101)

PARCEL D (120-130-170):

THAT PORTION OF GOVERNMENT LOT 4, SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1; THENCE NORTH 89°59'00" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1,638.36 FEET; THENCE NORTH 21°37'00" EAST 207.60 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUATION NORTH 21°37'00" EAST 208.94 FEET; THENCE NORTH 89°37'00" WEST 915.05 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1014422; THENCE SOUTH 21°37'00" WEST ALONG SAID EAST LINE, 208.97 FEET; THENCE SOUTH 76°00'04" EAST 228.00 FEET; THENCE SOUTH 89°37'00" EAST 508.25 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 4 OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 1042137)

PARCEL E (120-130-180):

A TRACT OF THE LAND IN GOVERNMENT LOT 4, SECTION 1, TOWNSHIP 9 NORTH, RANGE 28 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: BEGINNING AT THE GOVERNMENT MONUMENT AT THE INTERSECTION OF THE SOUTH LINE OF SECTION 1 AND EASTERLY BOUNDARY OF GOVERNMENT RIVER FRONTAGE; THENCE EAST 200 FEET; THENCE NORTH 90° EAST 100 FEET; THENCE NORTH 77° WEST 230 FEET; THENCE SOUTH 10° WEST 317 FEET TO THE POINT OF BEGINNING;

EXCEPT COUNTY ROADS.

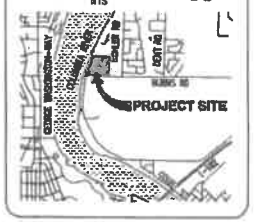
PARCEL F (120-130-142):

LOT 2, SHORT PLAT NO. 2006-32, RECORDED UNDER AUDITOR'S FILE NO. 1008038, RECORDS OF FRANKLIN COUNTY, WASHINGTON.

SCALE: 1" = 80'

VICINITY MAP

NTS



PROJECT INFO

APPLICANT:
EGO SKY DEVELOPERS, LLC
5438 N ROAD 68, BOX D-113
PASCO, WA 99301
PH. 509.521.4534
CONTACT: DANE GREGIO

CIVIL ENGINEER
ACTERA ENGINEERING
2705 ST ANDREWS LOOP, SUITE C
PASCO, WA 99301
PH. 509.545.1008
CONTACT: CALEB STROMSTAD, PE

SURVEYOR
AHBL, INC.
5804 GOSAD RD, SUITE H
PASCO, WA 99301
PH. 509.302.5863
CONTACT: JOHN BECKER, PLS

BASIS OF BEARING
NAD 1983/11
WASHINGTON STATE PLANE SOUTH PROJECTION, BASED ON GPS OBSERVATIONS USING WSRN AND GEOID 2012A.
UNITS OF MEASUREMENT ARE US SURVEY FEET.

VERTICAL DATUM
NAVD 1988 VERTICAL DATUM ON ORTHOMETRICALLY CORRECTED GPS OBSERVATIONS USING WSRN AND GEOID 2012A.

SURVEY EQUIPMENT USED
3" TOTAL STATION UTILIZING STANDARD FIELD TRAVERSE METHODS FOR CONTROL AND SENSING.

UTILITIES/SERVICES
ROADS: FRANKLIN COUNTY PUBLIC WORKS
WATER: CITY OF PASCO
STORM: FRANKLIN COUNTY PUBLIC WORKS (STORM RUN-OFF INFILTRATED ONSITE)
SEWER: INDIVIDUAL ON-SITE SEWAGE SYSTEMS
IRRIGATION: PRIVATE SYSTEM
POWER: FRANKLIN PUD
COMMUNICATION: CHARTER COMMUNICATIONS, LUMEN
GAS: CASCADE NATURAL GAS CORPORATION

SITE INFORMATION
PARCEL NO: 120150084, 120150145, 120150147, 120150156, 120150163 & 120150174
SITE ADDRESS: NOT AVAILABLE
SITE AREA: 37.5 AC

LAND USE TABLE
TOTAL PLAT AREA: 37.5 AC
PROPOSED USE: SINGLE-FAMILY RESIDENTIAL (R5-20)
NUMBER OF LOTS: 55
MINIMUM LOT AREA: 22,943 SF (LOTS 8-13)
MAXIMUM LOT AREA: 40,053 SF (LOT 6)
AVERAGE LOT AREA: 24,436 SF
ROW DEDICATED: 398,123 SF

SPENCER ESTATES PH. 4
PRELIMINARY PLAT
AQ #8000-011
FRANKLIN COUNTY

PRELIMINARY PLAT MAP

REVISIONS

NO.	DATE	DESCRIPTION

ACTERA ENGINEERING
2705 St. Andrews Loop, Suite C | Pasco, WA 99301
509.545.1008 | info@actera.com | www.actera.com

SHEET 1 OF 1

SUB 2021-05/SEPA 2021-11
Subject Properties
GALLATIN RD
GALLATIN RD
BLACKFOOT DR
CLARK FORK RD
ROCK CREEK DR
KOHLER RD
KOHLER RD
KOHLER RD
KOHLER RD
RAMSEY DR
LADD RD
LADD RD
LADD CT
WILLOW CREEK DR
JAYLEEN WAY
BURNS RD
BURNS RD
BURNS RD
BLACKFOOT DR
CLARK FORK RD
ROCK CREEK DR
BLACKFOOT DR
CLARK FORK RD
SANDY RIDGE RD
SANDY RIDGE RD
SANDY RIDGE RD
EAGLE CREST DR
DENT RD
DENT RD
DENT RD
DENT RD

BURNS ESTATES PH 3 INFO

- GROSS AREA: 10.3 AC
- ROW: 2.3 AC
- LOTS: 19
- AVG LOT SIZE: 0.68 AC
- DENSITY: 1.48 DU/AC

SPENCER ESTATES PH 4 INFO

- GROSS AREA: 27.1 AC
- ROW: 2.2 AC
- LOTS: 55
- AVG LOT SIZE: 0.47 AC
- DENSITY: 1.47 DU/AC

PROJECT NO.	8000-011/12
ORIG. DATE:	02/18/21
DRAWN BY:	DJF
SHEET No.	1 of 1

SPENCER & BURNS ESTATES
CONNECTIVITY LAYOUT V1.0

55 LOTS / 18 LOTS
BIG SKY DEVELOPERS, LLC
FRANKLIN COUNTY

AQTERA ENGINEERING

SPENCER ESTATES PHASE IV

A PORTION OF THE SW1/4 SEC. 01, TWN. 09 N., RGE. 29 E. W.M.

FRANKLIN COUNTY, WASHINGTON.

VERTICAL DATUM

[illegible] THIS VERTICAL DATUM ON ORTHOMETRICALLY CORRECTED GPS OBSERVATIONS USING NGS AND GEOID 2012A.

BASIS OF BEARING

NAD 1983/91
WASHINGTON STATE PLANE SOUTH PROJECTION, BASED ON GPS OBSERVATIONS USING NGS AND GEOID 2012A. UNITS OF MEASUREMENT ARE US SURVEY FEET.

UTILITY NOTES

1. SURFACE UTILITY FACILITIES ARE SHOWN HEREON PER FIELD LOCATED VISIBLE EVIDENCE. THERE MAY BE UTILITIES THAT EXIST ON THIS SITE OTHER THAN THOSE GRAPHICALLY DEPICTED HEREON.

2. UNDERGROUND (BURIED) UTILITIES SHOWN HEREON ARE BASED ON COMBINATIONS OF VISIBLE SURFACE EVIDENCE, UTILITY LOCATOR MARKINGS AND RECORD DATA (SUCH AS AS-BUILT OR UTILITY DESIGN DRAWINGS). ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND, IN SOME CASES, ARE SHOWN AS STRAIGHT LINES BETWEEN FIELD LOCATED SURFACE UTILITY FACILITIES. UNDERGROUND UTILITIES MAY HAVE BENDS, CURVES OR CONNECTIONS WHICH ARE NOT SHOWN.

3. ALTHOUGH LOCATIONS OF UNDERGROUND UTILITIES BASED ON UTILITY LOCATOR MARKINGS AND RECORD DATA (SUCH AS AS-BUILT OR UTILITY DESIGN DRAWINGS) ARE DEEMED RELIABLE, AHBL, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID DATA.

4. CALL 1-800-424-5555 BEFORE ANY CONSTRUCTION.

RELIANCE NOTE

THIS SURVEY WAS PREPARED AT THE REQUEST OF DAVE GREENO FOR THE SOLE AND EXCLUSIVE USE OF BIG SKY DEVELOPERS, LLC. NOTE TO RELY UPON AND/OR USE THIS SURVEY DO NOT EXTEND TO ANY OTHER PARTY EXCEPT THROUGH EXPRESS RECERTIFICATION BY THE PROFESSIONAL LAND SURVEYOR WHOSE STAMP AND SIGNATURE APPEAR HEREON.

EQUIPMENT USED

3" TOTAL STATION UTILIZING STANDARD FIELD TRAVERSE METHODS FOR CONTROL AND STAKING.

SURVEYOR'S CERTIFICATE

I, JOHN W. BECKER, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF WASHINGTON, HEREBY CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION IN FEBRUARY 2021 IN COMPLIANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT, CHAPTER 58.09 R.C.W. AND 332-130 W.A.C., AT THE REQUEST OF THE BIG SKY DEVELOPERS, LLC.

JOHN W. BECKER, PLS 38460 DATE

LEGAL DESCRIPTION

PER BENTON FRANKLIN TITLE COMPANY
ORDER NO. 8P12838 DATED FEBRUARY 8, 2021

PARCEL A (126-130-147):

THAT PORTION OF GOVERNMENT LOT 4 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, ALL IN SECTION 1, TOWNSHIP 9 NORTH, RANGE 29 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1;
THENCE NORTH 89°05'04" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1536.38 FEET; THENCE NORTH 21°21'10" EAST 844.01 FEET; THENCE SOUTH 89°37'14" EAST 133.48 FEET; THENCE NORTH 21°21'10" EAST 2,315.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUATION NORTH 21°21'10" EAST 305.70 TO THE NORTH LINE OF SAID SOUTH HALF OF THE SOUTHWEST QUARTER; THENCE NORTH 89°37'30" WEST ALONG SAID NORTH LINE, 663.05 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1914662; THENCE SOUTH 21°21'10" WEST ALONG SAID EAST LINE, 305.63 FEET; THENCE SOUTH 89°37'14" EAST 663.05 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 1 (1-9-29) OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 8142150)

PARCEL B (126-130-126):

THAT PORTION OF GOVERNMENT LOT 4 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, ALL IN SECTION 1, TOWNSHIP 9 NORTH, RANGE 29 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1;
THENCE NORTH 89°05'04" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1536.38 FEET; THENCE NORTH 21°21'10" EAST 844.01 FEET; THENCE SOUTH 89°37'14" EAST 133.48 FEET; THENCE NORTH 21°21'10" EAST 2315.70 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 21°21'10" EAST 305.70 FEET; THENCE NORTH 89°37'14" WEST 663.05 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1914662; THENCE SOUTH 21°21'10" WEST ALONG SAID EAST LINE 305.70 FEET; THENCE SOUTH 89°37'14" EAST 663.05 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 2 (1-9-29) OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 8142150)

PARCEL C (126-130-168):

THAT PORTION OF GOVERNMENT LOT 4 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, ALL IN SECTION 1, TOWNSHIP 9 NORTH, RANGE 29 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1;
THENCE NORTH 89°05'04" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1536.38 FEET; THENCE NORTH 21°21'10" EAST 844.01 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°37'14" EAST 133.48 FEET; THENCE NORTH 21°21'10" EAST 305.70 FEET; THENCE NORTH 89°37'14" WEST 663.05 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1914662; THENCE SOUTH 21°21'10" WEST ALONG SAID EAST LINE 305.70 FEET; THENCE SOUTH 89°37'14" EAST 748.84 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 3 (1-9-29) OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 8142150)

PARCEL D (126-130-174):

THAT PORTION OF GOVERNMENT LOT 4, SECTION 1, TOWNSHIP 9 NORTH, RANGE 29 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 1;
THENCE NORTH 89°05'04" WEST ALONG THE SOUTH LINE OF SAID SECTION 1, 1536.38 FEET; THENCE NORTH 21°21'10" EAST 844.01 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUATION NORTH 21°21'10" EAST 305.64 FEET; THENCE NORTH 89°37'30" WEST 748.84 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL CONVEYED TO THE UNITED STATES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 1914662; THENCE SOUTH 21°21'10" WEST ALONG SAID EAST LINE, 305.57 FEET; THENCE SOUTH 76°05'04" EAST 223.00 FEET; THENCE SOUTH 89°37'30" EAST 663.38 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT COUNTY ROADS.

(SHOWN AS TRACT 4 OF RECORD SURVEY RECORDED UNDER AUDITOR'S FILE NO. 4966037)

PARCEL E (126-130-084):

A TRACT OF THE LAND IN GOVERNMENT LOT 4, SECTION 1, TOWNSHIP 9 NORTH, RANGE 29 EAST, W.M., FRANKLIN COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
BEGINNING AT THE GOVERNMENT MONUMENT AT THE INTERSECTION OF THE SOUTH LINE OF SECTION 1 AND EASTERLY BOUNDARY OF GOVERNMENT MEANDER FRONTAGE; THENCE EAST 300 FEET; THENCE NORTH 10° EAST 200 FEET; THENCE NORTH 72° WEST 338 FEET; THENCE SOUTH 10° WEST 317 FEET TO THE POINT OF BEGINNING.

EXCEPT COUNTY ROADS.

PARCEL F (126-130-142):

LOT 2, SHORT PLAT NO. 2016-22, RECORDED UNDER AUDITOR'S FILE NO. 1986436, RECORDS OF FRANKLIN COUNTY, WASHINGTON.

AHBL
TACOMA · SEATTLE · SPOKANE · TRI-CITIES
2215 North 30th Street, Suite 200 Tacoma, WA 98
253.383.2422 ph 253.383.2572 FAX www.ahbl.com

Project Title:
SPENCER ESTATES PHASE IV

Client:
BIG SKY DEVELOPERS, LLC
12405 EAGLE REACH COURT
PASCO, WA 99301
DAVE GREENO

Job No.
2210100.50

Issue Set & Date:
FEBRUARY 2, 2021

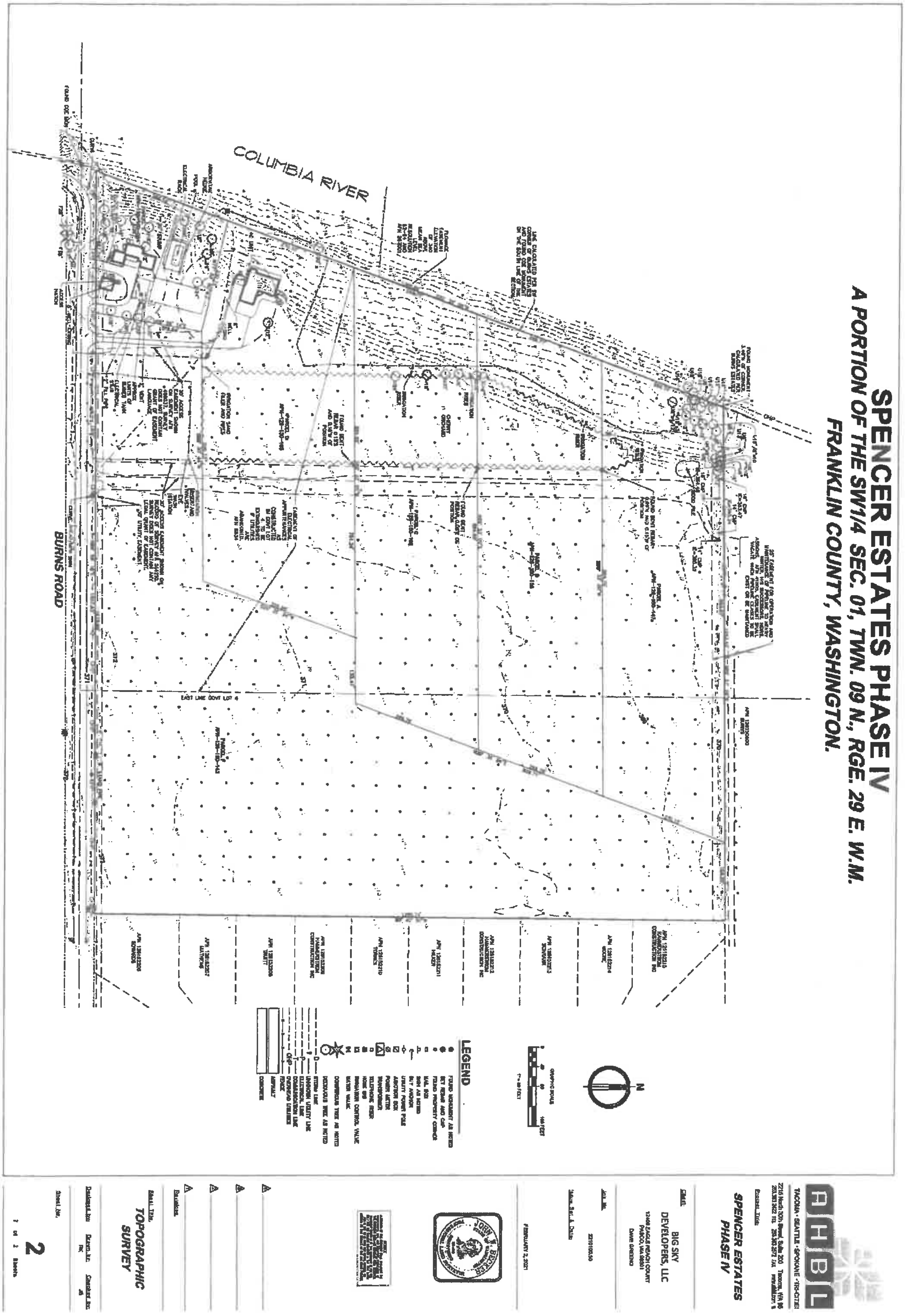
PRELIMINARY

Revisions:

Sheet Title:
TOPOGRAPHIC SURVEY

Designed by: Drawn by: RK Checked by: JB

Sheet No.
1
1 of 2 Sheets


SPENCER ESTATES PHASE IV
A PORTION OF THE SW1/4 SEC. 01, TWN. 09 N., RGE. 29 E. W.M.
FRANKLIN COUNTY, WASHINGTON.
COLUMBIA RIVER
BURNS ROAD
EAST LINE GOVT LOT 4
LEGEND
FOUND MONUMENT AS NOTED
SET REBAR AND CAP
FOUND PROPERTY CORNER
AHBL
TACOMA · SEATTLE · SPOKANE · TRI-CITIES
Project Title
SPENCER ESTATES PHASE IV
Client
BIG SKY DEVELOPERS, LLC
Job No.
2210100.50
FEBRUARY 2, 2021
Revision
Sheet Title
TOPOGRAPHIC SURVEY
Sheet No.
2
2 of 2 Sheets